



STRATEGIC PLANNING ADVISORY PANEL

**TUESDAY 14 MARCH 2006
7.30 PM**

PANEL AGENDA (ADVISORY)

**COMMITTEE ROOM 1&2
HARROW CIVIC CENTRE**

MEMBERSHIP (Quorum 3)

Chair: Councillor Burchell

Councillors:

**Idaikkadar Marilyn Ashton
N Shah Mrs Bath
Anne Whitehead (VC) Mrs Kinnear**

Co-opted Member: Councillor John Branch

Reserve Members:

1. Blann	1. Kara
2. Bluston	2. Versallion
3. Ray	3. Harriss
4. Miles	

**Issued by the Democratic Services Section,
Legal Services Department**

**Contact: Kate Boulter, Committee Administrator
Tel: 020 8424 1269 E-mail: kate.boulter@harrow.gov.uk**

***NOTE FOR THOSE ATTENDING THE MEETING:
IF YOU WISH TO DISPOSE OF THIS AGENDA, PLEASE LEAVE IT BEHIND AFTER THE MEETING.
IT WILL BE COLLECTED FOR RECYCLING.***

HARROW COUNCIL

STRATEGIC PLANNING ADVISORY PANEL

TUESDAY 14 MARCH 2006

AGENDA - PART I

1. **Attendance by Reserve Members:**

To note the attendance at this meeting of any duly appointed Reserve Members.

Reserve Members may attend meetings:-

- (i) to take the place of an ordinary Member for whom they are a reserve;
- (ii) where the ordinary Member will be absent for the whole of the meeting; and
- (iii) the meeting notes at the start of the meeting at the item 'Reserves' that the Reserve Member is or will be attending as a reserve;
- (iv) if a Reserve Member whose intention to attend has been noted arrives after the commencement of the meeting, then that Reserve Member can only act as a Member from the start of the next item of business on the agenda after his/her arrival.

2. **Declarations of Interest:**

To receive declarations of personal or prejudicial interests, arising from business to be transacted at this meeting, from:

- (a) all Members of the Committee, Sub Committee, Panel or Forum;
- (b) all other Members present in any part of the room or chamber.

3. **Arrangement of Agenda:**

To consider whether any of the items listed on the agenda should be considered with the press and public excluded on the grounds that it is thought likely, in view of the nature of the business to be transacted, that there would be disclosure of confidential information in breach of an obligation of confidence or of exempt information as defined in the Local Government (Access to Information) Act 1985.

Enc. 4. **Minutes:** (Pages 1 - 12)

That (1) the minutes of the meeting held on 1 December 2005, having been circulated, be taken as read and signed as a correct record;

(2) it be agreed that, having been circulated, the Chair be given authority to sign the minutes of the meetings held on 4 January 2006 and 14 February 2006 as a correct record once they have been printed in the Council Bound Minute Volume.

5. **Public Questions:**

To receive questions (if any) from local residents or organisations under the provisions of Advisory Panel and Consultative Forum Procedure Rule 15 (Part 4E of the Constitution).

6. **Petitions:**
To receive petitions (if any) submitted by members of the public/Councillors under the provisions of Advisory Panel and Consultative Forum Procedure Rule 13 (Part 4E of the Constitution).
7. **Deputations:**
To receive deputations (if any) under the provisions of Advisory Panel and Consultative Forum Procedure Rule 14 (Part 4E of the Constitution).
- Enc. 8. **Responses to the Statutory Consultation on the Draft Access for All Supplementary Planning Document (SPD) and its Accompanying Sustainability Appraisal and Approval for Adoption:** (Pages 13 - 156)
Report of the Executive Director (Urban Living).
- Enc. 9. **Draft Accessible Homes Supplementary Planning Document (SPD) and Accompanying Sustainability Appraisal (SA) - Consideration of Responses to the Statutory Consultation:** (Pages 157 - 248)
Report of the Executive Director (Urban Living).
- Enc. 10. **Harrow Conservation Areas Supplementary Planning Document and Accompanying Sustainability Appraisal Scoping Report - Progress Report:** (Pages 249 - 292)
Report of the Executive Director (Urban Living).
- Enc. 11. **Conservation Area Appraisal and Management Strategy for Rayners Lane Conservation Area:** (Pages 293 - 308)
Report of the Executive Director (Urban Living).
- Enc. 12. **Conservation Area Appraisal and Management Strategy for Harrow School Conservation Area:** (Pages 309 - 334)
Report of the Executive Director (Urban Living).
- Enc. 13. **Conservation Area Appraisal and Management Strategy for Old Church Lane Conservation Area:** (Pages 335 - 354)
Report of the Executive Director (Urban Living).
- Enc. 14. **Conservation Area Appraisal and Management Strategy for Edgware High Street Conservation Area:** (Pages 355 - 370)
Report of the Executive Director (Urban Living).
- Enc. 15. **Conservation Area Appraisal and Management Strategy for Grimsdyke Estate and Brookhill Drive Conservation Area:** (Pages 371 - 402)
Report of the Executive Director (Urban Living).

AGENDA - PART II (PRESS AND PUBLIC EXCLUDED) - NIL

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STRATEGIC PLANNING ADVISORY PANEL

1 DECEMBER 2005

Chair: * Councillor Burchell

Councillors: * Marilyn Ashton * Mrs Kinnear
* Mrs Bath * N Shah
* Bluston (2) * Anne Whitehead

Non-voting Councillor Branch
Co-opted Member:

* Denotes Member present
(2) Denotes category of Reserve Member

PART I - RECOMMENDATIONS**RECOMMENDATION 1 - Annual Monitoring Report 2004-05**

The Panel considered a report of the Director of Property Services (Urban Living) which explained the requirement for the Council to produce an Annual Monitoring Report (AMR) for the Municipal Year 2004-05. The draft AMR was provided as an appendix to the report and the Panel noted that the deadline for submission of the AMR to the Government Office for London was 30 December 2005.

Officers advised that, prior to the meeting, they had distributed to Members of the Panel a sheet of amendments that they were proposing to make to the AMR. The amendments were discussed in detail at the meeting and Members confirmed their agreement to the proposed changes being incorporated into the draft AMR.

During the discussion on the report, the following issues were raised:

- Noting that the Executive Summary (Section 4.5) of the draft AMR stated that "an overall net gain of 12,006 m² gross external floorspace was achieved for employment use", it was requested that officers provide Members of the Panel with details of employment use space in the Borough.
- The Executive Summary (Section 4.9) of the draft AMR stated that "No Harrow Unitary Development Plan (HUDP) policies have been identified which do not appear to be working well". A Member wished it to be noted that, in her opinion, policy H9 of the HUDP was not working well.
- Members requested that officers provide clarification of what was meant by "other modes" in the Accident Rate statistics provided in Section 4.3(B) of the AMR. A Member also commented that the figures provided did not seem to add up and suggested that they be checked.
- Noting that Section 4.4(A) of the report stated that the Borough's "average residential density is 237 habitable rooms per hectare", it was requested that officers provide Members of the Panel with information on the densities in other comparable boroughs.

The Panel supported the officers' view that it would be necessary to make further amendments to the AMR prior to submitting the final version of the report to Cabinet.

Resolved to RECOMMEND: (to Cabinet)

That (1) the contents of the AMR 2004-05 be noted;

(2) the AMR 2004-05 be submitted to the Government Office for London by 30 December 2005, subject to the completion of further detailed work on aspects of the AMR, and taking on board any decision on the approach to Conservation Area appraisals and management plans.

[REASON: Preparation of the AMR is a requirement of the Local Development Scheme (LDS) which Cabinet approved on 23 June 2005. Failure to submit the AMR on time would be a breach of the regulations governing the new planning system and would also lead to a reduction in the Planning Delivery Grant (PDG) which would have an impact on resources for Planning and Development Services].

RECOMMENDATION 2 - Key Decision - Conservation Areas Appraisals Programme

The Panel received a confidential report of the Director of Property Services (Urban Living) in this matter.

The Panel considered the proposed approach to the production of conservation area documents as set out in the report and the priorities and timetables for action and, upon being put to a vote, it was

Resolved to RECOMMEND: (to Cabinet)

That (1) Option C of the officers' report be approved;

(2) subject to the approval of (1), the Local Development Scheme (LDS) be amended accordingly and the approach be reviewed in light of any revised guidance issued.

[REASON: To enable the Council to work towards its statutory requirements under PPG15, towards improving performance against the new BVPI 219 on conservation areas and to clarify the production of documents relating to conservation areas in the LDS].

[Note: Councillors Marilyn Ashton, Mrs Bath and Mrs Kinnear wished to be recorded as having voted against paragraph (1) of the recommendation above].

PART II - MINUTES

70. **Attendance by Reserve Members:**

RESOLVED: To note the attendance at this meeting of the following duly appointed Reserve Member:-

<u>Ordinary Member</u>	<u>Reserve Member</u>
Councillor Idaikkadar	Councillor Bluston

71. **Declarations of Interest:**

RESOLVED: To note that there were no declarations of interests made by Members in relation to the business transacted at this meeting.

72. **Arrangement of Agenda:**

RESOLVED: That all items be considered with the press and public present with the exception of the following item for the reasons set out below:

<u>Item</u>	<u>Reason</u>
9. Conservation Areas Appraisals Programme	The report relating to this item contained exempt information under paragraph 12 of Part I of Schedule 12A to the Local Government Act 1972 in that it contained legal advice.

73. **Minutes:**

RESOLVED: That the Chair be given authority to sign the minutes of the meeting held on 8 November 2005, those minutes having been circulated, as a correct record of the meeting, once printed in the Council Bound Volume.

74. **Public Questions, Petitions and Deputations:**

RESOLVED: To note that no public questions were put, or petitions or deputations received at this meeting under the provisions of Advisory Panel and Consultative Forum Procedure Rules 15, 13 and 14 (Part 4E of the Constitution) respectively.

75. **Annual Monitoring Report 2004-05:**

See Recommendation 1.

76. **Conservation Areas Appraisals Programme:**

See Recommendation 2.

77. **Date of Next Meeting:**

RESOLVED: That a Special Meeting of the Panel be held on Wednesday 4 January 2006 at 7.30 pm to enable deadlines to be met for submissions to the Office of the Deputy Prime Minister.

(Note: The meeting having commenced at 7.30 pm, closed at 9.32 pm)

(Signed) COUNCILLOR KEITH BURCHELL
Chair

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**STRATEGIC PLANNING ADVISORY PANEL
(SPECIAL)****4 JANUARY 2006**

Chair: * Councillor Burchell

Councillors: Mrs Bath * Mrs Kinnear
* Idaikkadar * N Shah
* Kara (1) * Anne WhiteheadNon-voting Councillor Branch
Co-opted Member:* Denotes Member present
(1) Denotes category of Reserve Member**PART I - RECOMMENDATIONS****RECOMMENDATION 1 - Draft London Plan Alterations - Housing Provision Targets - Public Consultation**

The Panel considered a report of the Group Manager (Planning and Development), which outlined the findings of the 2004 London Housing Capacity Study. The Mayor for London had identified a target for Harrow of 4,000 additional homes to be provided in the ten year period 2007/8 to 2016/17. The report reflected upon the levels of housing development that Harrow had achieved in recent years and anticipated future housing development. The report concluded that, on the basis of current and projected performance, Harrow could, in principle, meet the Mayor's target. Officers advised that it was possible that the target could be increased, but recommended that Harrow would not support more than 4,000 additional homes.

In response to a question from a Member, officers advised that the responses to the public consultation would be considered by the Mayor and then an Examination in Public would be held in the summer/autumn of 2006, on a date to be arranged. There would be no automatic entitlement for Harrow to attend the Examination but the Panel's Inspectors could invite Harrow to appear. The Panel agreed that Harrow should reserve its position regarding attendance at the Examination, since no advantage would be gained by indicating at this stage that Harrow would wish to appear at the Examination. Officers confirmed that Members would be advised of the date of the Examination.

Concern was expressed by Members of the Panel that Greater London Authority officers had included an automatic uplift of 25%.

Officers were requested to provide an update on recommendations from the Barker Report to a future meeting of the Panel, and to the Development Control Committee.

Resolved to RECOMMEND: (to Cabinet)

That a synopsis of the comments contained within the officer's report, amended as appropriate in accordance with comments made by the Panel, be submitted to the Mayor for London as Harrow's response to the Draft London Plan Alterations – Housing Provision Targets – Public Consultation, by 20 January 2006.

[REASON: To provide the Mayor for London with the opportunity to feed the Council's comments into the Examination in Public to be held on the draft Alterations. Targets determined through this process will be statutory, and the Council will need to consider these in the preparation of the Local Development Framework].

RECOMMENDATION 2 - Draft London Plan Alterations - Planning for Waste; Planning for Minerals - Public Consultation

The Panel considered a report of the Group Manager (Planning and Development), which outlined Harrow's response to the draft Alterations to the London Plan policies on Planning for Waste and Planning for Minerals. The report identified issues specific to Harrow, and also included the joint response that had been prepared on behalf of the West London boroughs.

Officers advised that indicators showed that an additional 53.6 hectares of land for recycling and waste treatment facilities would be required for the West London Sub-Region. In view of this, the Panel agreed that the new requirement for councils to

protect existing sites would be important, and emphasised the need for Harrow to submit a joint response with other West London boroughs.

During the discussion on the report, the following issues were raised:

- The Panel agreed that, whilst Harrow did not support incineration, no options for waste treatment should be ruled out at this stage.
- A Member expressed concern that the joint response appeared to contain an assumption that PPS10 (Planning for Sustainable Waste Management) would override PPG2 (Green Belts). In response, officers advised that Green Belt guidance would need to be considered alongside waste issues.
- The Panel expressed concern that Harrow would not have space available to provide new sites for waste treatment facilities, and that the requirement for Harrow to provide an additional 4,000 homes in the ten year period 2007/8 to 2016/17 (discussed in Recommendation 1 of the Panel) meant that there would be competition between land required for housing and waste. Harrow's shortage of employment land was considered by the Panel to be a potential problem when trying to identify sites. Officers advised that it was possible that some existing sites in the Sub-Region could be redeveloped by private developers who would need to apply for planning permission in the usual way.

The Panel thanked the representative from the Association of London Cleansing Officers (ALCO), who was in attendance at the meeting, for the comments from ALCO contained as an appendix to the officers report. It was noted that ALCO's comments had been included to inform the Panel's debate, but would not be included in Harrow's response to the Mayor for London.

Resolved to RECOMMEND: (to Cabinet)

That the specific issues for Harrow contained within the officer's report, amended as appropriate in accordance with comments made by the Panel, together with the joint response prepared on behalf of the West London boroughs (attached as Appendix 1 to the report) be forwarded to the Mayor for London in reply to the Draft London Plan Alterations – Planning for Waste; Planning for Minerals – Public Consultation.

[REASON: To provide the Mayor for London with the opportunity to feed the Council's comments into the Examination in Public to be held on the draft Alterations. Targets determined through this process would be statutory, and the Council would need to consider these in the preparation of the Local Development Framework].

PART II - MINUTES

78. **Attendance by Reserve Members:**

RESOLVED: To note the attendance at this meeting of the following duly appointed Reserve Member:-

<u>Ordinary Member</u>	<u>Reserve Member</u>
Councillor Marilyn Ashton	Councillor Kara

79. **Declarations of Interest:**

RESOLVED: To note that there were no declarations of interests made by Members in relation to the business transacted at this meeting.

80. **Arrangement of Agenda:**

RESOLVED: That all items be considered with the press and public present.

81. **Deputations:**

RESOLVED: To note that no deputations were received at this meeting under the provisions of Advisory Panel and Consultative Forum Procedure Rule 14 (Part 4E of the Constitution).

82. **Draft London Plan Alterations - Housing Provision Targets - Public Consultation:** (See Recommendation 1).

83. **Draft London Plan Alterations - Planning for Waste; Planning for Minerals - Public Consultation:**
(See Recommendation 2).

(Note: The meeting having commenced at 7.30 pm, closed at 8.35 pm)

(Signed) COUNCILLOR KEITH BURCHELL
Chair

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**STRATEGIC PLANNING ADVISORY PANEL
(SPECIAL)****14 FEBRUARY 2006**

Chair: * Councillor Burchell

Councillors: * Marilyn Ashton * Mrs Kinnear
* Mrs Bath * N Shah
* Idaikkadar * Anne WhiteheadNon-voting Councillor Branch
Co-opted Member:

* Denotes Member present

PART I - RECOMMENDATIONS**RECOMMENDATION 1 - Affordable Housing Supplementary Planning Document**

The Panel considered a report of the Group Manager (Planning and Development) which provided information on the progress made in respect of the Affordable Housing Supplementary Planning Document (SPD) and its accompanying Sustainability Appraisal (SA).

Officers advised that, since the agenda had been circulated, and in view of the need for a lead-in period prior to consultation, a waiver of the requirement for a five-day Call-In period had been sought from the Chair of Overview and Scrutiny Committee, in order that, in the event that Cabinet were to agree the officer's recommendation at its meeting on 16 February 2006, consultation could formally commence on 24 February 2006. The request for a waiver had been declined, which meant it would not be possible to commence consultation until 5 May 2006, due to the requirement that no documents with a potential political bearing be consulted upon during the pre-election period beginning on 24 March 2006.

A Member expressed the view that the consultation was important and should commence as soon as possible to ensure adherence to the overall timetable. In response to questions from Members, officers advised that, if the consultation were to commence in May 2006 rather than February 2006, it would reduce the time available to officers to process consultation responses prior to its programmed adoption in July 2006. Given that it would not be possible to predict the volume or nature of the responses that would be received, consulting later would increase the risk of it not being possible to process responses prior to July 2006, in which case submission of the SPD would be delayed until September 2006. However, officers were of the view that consulting later would be unlikely to have a detrimental effect on the overall timetable unless a particularly high number of responses were received.

During the discussion on the report, the following issues were raised:

- A Member expressed concern that the feedback that had been received at pre-production consultation stage for the SPD appeared to come from a specific segment of consultees. Officers advised that a wide range of organisations had been invited to respond, and it was anticipated that there would be a wider response at consultation stage. Officers were requested to provide Members with a draft of the summary that had been produced following the workshop meeting with pre-production consultees on 16 November 2005.
- A Member expressed concern that, in her view, the SPD contained a number of 'sweeping statements'. In response, officers confirmed that the contents of the SPD were evidence-based.
- A Member expressed the view that the report appeared to assume an increasing level of subsidy.
- In response to a question from a Member, officers advised that the Council's decision to accept a wider range of professions as being eligible for key worker housing than that defined by the Government had been made by Cabinet on 14 October 2004.
- A Member wished it to be noted that she did not agree with the statement on page 12 of the report: "The Council no longer considers that, in a Harrow context, low cost market housing can be affordable housing". The Member

was of the view that low cost market housing could be affordable housing if the housing market changed in the future.

- A Member wished it to be noted that she did not agree with SPD objective 4 on page 47 of the report: "To state that low cost market housing will not be regarded as affordable housing", and that, in her view, this objective, along with the explanatory comment provided in item 10 on page 72 of the report, were not encouraging for developers.
- Officers were requested to include in the 'Glossary' the following definition of Low Cost Market Housing that was contained within the London Plan:
"Low Cost Market Housing – Housing provided by the private sector, without public subsidy or the involvement of a housing association, that is sold or let at a price less than the average for the housing type on the open market."
- The Chair advised that Cabinet would be responsible for determining use of the funds contained within the Council's Affordable Housing Fund (referred to on page 17 of the report). Members with particular questions regarding this fund were advised to consult the Group Manager (Housing).
- Officers were requested to correct typographical errors in item 11 on page 69 of the report.

Resolved to RECOMMEND: (to Cabinet)

That the draft Affordable Housing SPD be placed on four-week formal statutory public consultation from 24 February 2006.

[REASON: To ensure that the Council's objectives in applying affordable housing policies H5 and H6 in the adopted Harrow Unitary Development Plan (HUDP) are achieved].

[Notes: (1) During discussion on the above item, the following amendment to the recommendation of the Group Manager (Planning and Development) was proposed and seconded:

"Given (a) the restricted response there has been to the initial consultation; and (b) that it is possible to consult early in the life of the new Council without a detrimental impact on the overall timetable; the Council postpone consultation until after the election.";

(2) upon being put to a vote, the amendment was not carried;

(3) Councillors Marilyn Ashton, Mrs Bath and Kinnear wished to be recorded as having voted in favour of the proposed amendment;

(4) upon being put to a vote, the motion to support the recommendation of the Group Manager (Planning and Development) was carried;

(5) Councillors Marilyn Ashton, Mrs Bath and Kinnear wished to be recorded as having voted against supporting the recommendation of the Group Manager (Planning and Development).

PART II - MINUTES

84. **Attendance by Reserve Members:**

RESOLVED: To note that there were no Reserve Members in attendance at this meeting.

85. **Declarations of Interest:**

RESOLVED: To note the following declarations of interest made by Members present relating to business to be transacted at this meeting:

- (i) Agenda Item 5 – Affordable Housing Supplementary Planning Document (SPD)
 Councillor Mrs Bath declared a personal interest in the above item arising from the fact that she was a board member of Harrow Churches Housing Association, which was listed as a Preferred Registered Social Landlord Partner in Appendix 2 to the SPD. Accordingly, she would remain in the room and take part in the discussion and decision-making on this item.

86. **Arrangement of Agenda:**

RESOLVED: That all items be considered with the press and public present.

87. **Deputations:**

RESOLVED: To note that no deputations were received at this meeting under the provisions of Advisory Panel and Consultative Forum Procedure Rule 14 (Part 4E of the Constitution).

88. **Affordable Housing Supplementary Planning Document:**
(See Recommendation 1).

(Note: The meeting having commenced at 7.30 pm, closed at 8.47 pm)

(Signed) COUNCILLOR KEITH BURCHELL
Chair

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Meeting:	Strategic Planning Advisory Panel
Date:	14 th March 2006
Subject:	Responses to the statutory consultation on the draft Access for All Supplementary Planning Document (SPD) and its accompanying Sustainability Appraisal and approval for adoption.
Responsible Officer:	Executive Director (Urban Living)
Contact Officers:	Ali Kashmiri, Access Officer Sukhpreet Khull, Planner
Portfolio Holder:	Planning, Development and Housing
Key Decision:	No
Status:	Public

Section 1: Summary

The Access for All SPD has been through two rounds of consultation. The initial six-week consultation period on the draft SPD began on 1st August 2005 and ended 14th September 2005. Necessary changes were made to the documents before they were subject to statutory consultation between the 18th November 2005 to 30th December 2005.

During the statutory consultation stage, the main alterations required to be undertaken to the SPD have been of grammatical, colour and design related issues. The accompanying SA report has been finalised to reflect the development of the SPD. This report informs the Panel of the comments/representations received and highlights how any necessary changes to the two documents have been made.

The Panel are asked to recommend that the Portfolio Holder agrees the content of the final documents which now are at the adoption stage. The Council is also required to publish a summary report entitled the 'consultation statement' which summarises the comments/representations that were received, from which consultees and what action has been taken. Details of the comments and

proposed changes can be seen in the consultation statement (Appendix 1). The adoptions statement is also attached (see Appendix 2).

Decision Required

The Panel is invited to: -

- i) Agree the responses to representations and proposed changes to the draft Access for All Supplementary Planning Document (SPD) and its accompanying Sustainability Appraisal Report (SA) (as detailed within the Consultation Statement, Appendix 1).
- ii) Recommend that the Portfolio Holder clear and agree the Access for All SPD and its accompanying SA Report.
- iii) Recommend that the Portfolio Holder adopt the Access for All SPD and its accompanying SA Report. (See Appendix 2-Adoption Statement).

Reason for report

The reason for the actions proposed is to enable the adoption of the Access for All Supplementary Planning Document (SPD). The key aim of the Access for All SPD is to demonstrate the links between the Council's planning process, government planning policy and guidance and service provider obligations under the Disability Discrimination Act 1995.

The Access for All SPD aims to broaden the scope of good design by positively encouraging partnership working between the Council, professionals involved in the development process and the diverse range of local businesses and industry, in order to create local environments that are logical in layout, safe and easy to navigate. The Access for All SPD supports the fundamental principles of sustainable design. The guidance and requirements throughout the Access for All SPD actively promote the concept of inclusive design, to ensure access considerations form part of a development's overall design and not merely as bolt-on accessories.

Benefits

To ensure that access considerations form an integral part of the development process. To ensure local services and facilities are accessible to everyone.

Cost of Proposals

The cost of producing the SPD and associated SA will be met within the approved Planning Services budget.

Risks

Failure to carry out the procedures set down in the Planning and Compulsory Purchase Act 2004 and Regulations would render the Council open to legal challenge. Delay in meeting the Local Development Scheme (LDS) timetable milestones may also lead to a reduction in the Planning Delivery Grant (PDG).

Implications if recommendations rejected

This will lead to a failure to meet the approved LDS timetable milestone.

Section 2: Report

2.1 Brief History

Statutory consultation on the draft Access for All SPD and its accompanying sustainability appraisal took place for 6 weeks from 18th November 2005 to 30th December 2005. Five responses were received on the SPD, one of which was on the Sustainability Appraisal. Comments were received from the following bodies:-

STATUTORY ENVIRONMENTAL AUTHORITIES REPRESENTATIONS

1. Environment Agency (Tricia Lloyd)
2. English Heritage (Graham Saunders)
3. The Countryside Agency (Landscape Access Recreation –LAR) (David Hammond)

EXTERNAL ORGANISATIONS & PEOPLE REPRESENTATIONS

4. Joint Committee on Mobility of Blind and Partially Sighted People (JCMBPS)
5. Mr Jeffries-Harrow on the Hill

IN-HOUSE REPRESENTATIONS

Access Officer
Urban Designer
Graphic Designer
Canons Park, Project Officer
Planner
Legal

A summary of the responses received and the suggested changes made to the two documents can be seen in Appendix 1- Consultation Statement. References to new page numbers are made to demonstrate where the changes have been incorporated.

Next stages

Having considered the responses and agreed any necessary changes, the Access for All SPD and Sustainability Appraisal report now require adoption.

2.2 Options considered

The LDS agreed by Cabinet on 23rd June 2005 identified production of an SPD as being the most appropriate option in Harrow.

2.3 Consultation

The initial community engagement and statutory consultation stages for producing this SPD have followed the appropriate procedures and timetable as set down in the approved LDS, and including the means of engagement set down in the draft Statement of Community Involvement (SCI).

2.4 Financial Implications

Costs are contained within the approved Departmental budget.

2.5 Legal Implications

Once adopted, the authority should include the Access for All SPD in the LDF as it will form part of the planning framework for the area. It will not be subject to independent examination and will not form part of the statutory development plan, however the authority should carry out the same publicity process for the adopted SPD as applies to a DPD. The authority must also include with the SPD a statement of the consultation undertaken, the representations received and their response to those representations, together with a copy of the final statement of sustainability appraisal.

2.6 Equalities Impact

Both the SPD and SA promote equality of opportunity and social inclusion.

Section 3: Supporting Information/Background Documents

Background Documents:

The Access for All SPD and accompanying Sustainability Appraisal Report

CONSULTATION STATEMENT

Access for All Supplementary Planning Document

This consultation statement is required in connection with the preparation of Harrow's Access for All Supplementary Planning Document (SPD), in accordance with Regulation 17 (2) (b) of the Town and Country Planning (Local Development) England Regulations 2004. It demonstrates whom and how the Council has engaged in the early stages of preparing the SPD and its accompanying Sustainability Appraisal (SA), and how the issues have been addressed in the adopted SPD/SA.

The statement contains the following information:

- i) the names of the organisations whom the Council consulted in connection with the preparation of the SPD;
- ii) how those organisations were consulted;
- iii) a summary of the main issues raised in those consultations; and
- iv) how those issues have been addressed in the SPD.

Initial consultation on the draft Access for All SPD took place over a six-week period in August and September 2005. Statutory consultation took place in November and December 2005 (18th November - 30th December 2005).

The following organisations were sent a copy of and invited to comment on the draft SPD and Sustainability Appraisal (SA) Scoping Report:

Shopmobility	Disability Rights Commission
Harrow Association of Voluntary Services	National Centre for Independent Living
Access Association	Government Office for London
Disabled Foundation	Greater London Authority
Harrow Crossroads	Environment Agency
Harrow Association of Disabled People	English Nature
Harrow Carers Centre	Countryside Agency
Harrow Early Years and Childcare Services	English Heritage
Harrow Leisure Centre	London Borough of Hillingdon
Harrow Mencap	London Borough of Ealing
Mind in Harrow	London Borough of Hounslow
MS Society	London Borough of Brent
Community Link Up	London Borough of Hammersmith & Fulham
Greater London Action on Disability	London Borough of Barnet
British Council of Disabled People	Hertsmere Borough Council
Royal National Institute for the Blind	Three Rivers District Council
Royal National Institute for the Deaf	Hertfordshire County Council
People First	Commission for Architecture and the Built Environment
Disability Awareness in Action	Sport England

The draft SPD and SA Scoping Report were also placed on the Council's website (see notice below) and made available for inspection at Planning Reception.

Access for All Supplementary Planning Document (SPD) and accompanying Sustainability Appraisal (SA) report (November)

The Council is producing a SPD entitled 'Access for All' which will elaborate upon the application of access-related policies in the adopted Harrow Unitary Development Plan. An important stage in producing the SPD is undertaking formal statutory community engagement in order to finalise the content of the document. You are invited to comment on the Access for All SPD and the Sustainability Appraisal report that accompanies it. The consultation period starts on Friday 18th November 2005 and comments should be received no later than 5pm on Friday 30th December 2005.

Copies of the [Access for All SPD](#) and the accompanying [Sustainability Appraisal report](#) and [text only](#) are available. Copies are also available for inspection at Planning Reception, Garden House, 5 St. John's Road, Harrow, HA1 2EE. Your comments should be made on the [standard response form](#) For more information, or to request a copy, please contact Ali Kashmiri on 020 8736 6611 or Sukhpreet Khull on 020 8736 6086, or by e-mail ali.kashmiri@harrow.gov.uk.

In addition to the external consultation process, the draft SPD and SA Scoping Report were also circulated to relevant internal Council staff inviting comments relating to their particular areas of expertise.

Summary of the main issues raised:

Representation Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
STATUTORY CONSULTATION AUTHORITIES REPRESENTATIONS			
1	Tricia Lloyd – Environment Agency	<ul style="list-style-type: none"> The Environment Agency has no comments to make on these proposals. 	No changes necessary.
2	Graham Saunders – English Heritage	<ul style="list-style-type: none"> They welcome the reference to their publication <i>Easy Access to Historic Buildings</i> (July 2004) and would urge that the recently published <i>Easy access to Historic Landscapes</i> (October 2005) be included in the SPD as well. With regards to the SPD Sustainability Appraisal, Appendix 2 which mentions public facilities which are listed buildings – The assessment described of each building is useful, but they would suggest that the needs of obtaining better access are balanced against the integrity of the listed building. A common solution is not always achievable and PPG15 and local plan policies should always be considered in the development of a suitable solution. English Heritage strongly advise that the council's own conservation staff be closely involved throughout the preparation and implementation of the SPD. 	<p>The Sources and References page in Access for All refers to reading material that was used during the preparation of the SPD. It is therefore not appropriate to list Easy Access to Historic Landscapes in this section.</p> <p>The SPD illustrates case study examples of existing buildings in Harrow. It does not suggest how buildings might be changed or discuss access design in any detail. The Buildings of Special Architectural Interest section within the Access for All SPD clearly states that access considerations should be dealt with sensitively without compromising the historic integrity of the building. The SA compatibility matrix –Figure 4 also states that “there are some areas of potential conflict which will always remain, for example, certain listed buildings which may require changes to be accessible to all and afford equal opportunities to all, may not be adaptable to accommodate access arrangements as this could compromise</p>

Representation Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
3	David Hammond-The Countryside Agency (Landscape Access Recreation –LAR)	<p>Mention is made to the fact that the Countryside Agency has focussed its planning activity on interests relating to landscape, access and recreation (LAR).</p> <p>The SPD is commended for the good link to the London Plan. The SA of the SPD is supported, specifically objective 2 of the SA relating to the protection of the quality, quantity and accessibility of open spaces in the Borough. Objective 12 in respect of reducing social exclusion is also supported. Figure 4 of the SA which demonstrates that objective 12 in reducing social exclusion to among others, leisure facilities is also supported. The clear links to the HUDP are also welcomed.</p> <p>A suggestion for change is also made to the</p>	<p>the architectural and historic value of the building. It should be noted, however that where adaptations are permissible, potential likely negative impacts can be avoided through the implementation of the Access for All SPD and the saved HUDP policies.'</p> <p>Consultation with Harrow Council's conservation team was sought prior to producing the SPD and during production.</p> <p>Acknowledged.</p> <p>No change required.</p>

Representation Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
		Harrow UDP Policy EP47	an adopted document which does not fall into the remit of this work or consultation.
EXTERNAL ORGANISATIONS & PEOPLE REPRESENTATIONS			
4	Joint Committee on Mobility of Blind and Partially Sighted People (JCMBPS)	<ul style="list-style-type: none"> The JCMBPS is delighted by the Access for All SPD. Recommend consultation with local visual impairment organisations, access and disability groups and the local Guide Dogs Centre. 	Consultation was sought from a wide variety of pan disability organisations and impairment specific groups.
5	Mr Jeffries Harrow on the Hill	<ul style="list-style-type: none"> Front cover - remove "Draft" <p>Statutory and Policy Context, para re SPD "off putting and not user friendly. Move to back of book?" also, HUDP "jargon" and alter "Its guidance can" to "Its guidance will"</p> <p>Acknowledgements – move down last line "for their assistance."</p> <p>P 9 – remove comma after 3rd line "promote," and 4th bullet point re word "unavoidable". (Mr J says "can one avoid unavoidable)</p> <p>'distinguish" to "distinguishable"</p> <p>P10, 4th bullet point, reword to "pedestrian circulation areas, clear of free standing advertising, such as A boards"</p>	<p>The grammatical and typographical suggestions were considered and the vast majority of points were taken on board.</p> <p>Moved to back of document.</p> <p>Changed.</p> <p>Changed. P9</p> <p>Changed. P10</p> <p>Changed. P10</p>

Representation Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
		<p>Mr J says bullets don't follow on as they are. P11 - middle transfer area – Mr J says “not immediately obvious and it helps with this”.</p> <p>P16 - Diagrams are not helpful.</p> <p>P18 - Design of dropped kerb needs to improve, looks like an obstacle.</p> <p>P19 -1st bullet, use brackets around “particularly people who are visually impaired”. Remove “that they are approaching a flight of steps” add to end “ , that they are approaching a flight of steps.</p> <p>P19 bottom left diagram “needs a heading”.</p> <p>P19, bottom right diagram “doesn't appear to extend” re handrail.</p> <p>P23 last bullet, comma after first word, remove “which are”, add “and” between “minimal” and “fitted” instead of comma. Clumsy phrasing for last part of sentence – put full stop after seat and remove “should also be provided”.</p> <p>P24, 5th bullet, Mr J question marked “exposed edges”.</p> <p>P25, No signage! Reception desk on low level</p>	<p>Changed p11</p> <p>Diagrams made clearer. P16</p> <p>Altered. P18</p> <p>Changed. P19</p> <p>Changed. P19</p> <p>Changed. P19</p> <p>Changed. P23</p> <p>Changed. P24</p> <p>Changed. P25</p>

Representation Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
		<p>or recess for wheelchair, No recess for wheelchair in reception desk, Hearing enhancement – yellow? And No signage anywhere.</p> <p>P28 diagram, mirror not clear.</p> <p>P32 Signage and wayfinding, move “For people with little or no sight, visual signs are of little or no use.”, Until bottom of second para. Mr J also suggests underlining word “consider” in third para.</p> <p>P33, picture “light lettering, contrasting with dark background on a pale wall” – not clear. Dark background.</p> <p>P34 – Title for colour diagram to be changed to “Example of good and bad colour contrasts” and Under “colour” change first word to “Signs” and remove “be” at the end of sentence.</p> <p>P34 – 1st bullet insert “have lettering” in front and 2nd bullet insert “be” at the start.</p> <p>P34 – under Lighting for signs remove word “they” from first sentence.</p> <p>P34 – Specific features, remove “be” from front of first 2 bullets.</p>	<p>Changed. P28</p> <p>Changed. P32</p> <p>Changed. P33</p> <p>Changed. P34</p> <p>Changed. P34</p> <p>Changed. P34</p> <p>Changed. P34</p>

Representation Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
		<p>P 41 – Add comma to 3rd bullet after word “required” and Mr J questions signage on toilet door. Of bottom right hand seating Mr J says “looks like a blob, deliniate seat and change colour”.</p> <p>P 42 – Café culture, add coma after chairs at end of first para. Door of Giovanni’s restaurant not accessible.</p> <p>P43 – Leisure and entertainment, 3rd bullet to be changed to read “allow people not taking part in an activity to be socially included.”</p> <p>P43 – Parks and open spaces, change first sentence to read “Whilst it is important to maintain designed aesthetics, whether natural, formal or rugged, sometimes compromises . . .”</p> <p>P44 – “Seems odd that slides and swings are not gated”.</p> <p>P45 – penultimate bullet, Mr J queries word “restricted” and says “There should be provision made for people with mobility and sensory impairments to make full use of security or restricted access features, eg a gate”.</p>	<p>Changed. P41</p> <p>Changed. P42</p> <p>Changed. P43</p> <p>Changed. P43</p> <p>Gates added. P44</p> <p>Changed. P45</p>

Representation Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
		<p>P45 – 2nd bullet, alter to read “some soft play surfaces, whilst maintaining as much of the natural environment as possible”.</p> <p>P 47 – Keep fit areas and gyms, first sentence remove “s” off “wheelchairs”.</p> <p>P48 – regarding diagram “Do you mean adjustable changing table surface?”</p> <p>P49 – “check out grab bars” and “signage text” for toilet door, also last bullet change figures to “100-150 (mm in pool)”.</p> <p>DP 51 – end of 3rd line add “those” and Mr J queries why seats show their backs to the rostrum? “Is this correct?” and 5th bullet change to read “allow people who experience seizures, to use an areas of spacious seating that is designed as an integral part of the general layout”.</p> <p>P53 – move word “access” in last sentence before bullets, from before to after “considerations</p> <p>P54 – 6th bullet Mr J queries if it is realistic and achievable to allow participation in organ lofts and bell ringing towers.</p>	<p>Changed. P45</p> <p>Changed. P47</p> <p>Changed. P48</p> <p>Changed. P49</p> <p>Changed. P51</p> <p>Changed. P53</p> <p>Changed. P54</p>

Representation Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
		<p>P56 – 3rd bullet remove “(as a last resort)” and add a comma after “views of areas,” .</p> <p>P57 – 2nd bullet delete “social interaction of all, including areas such as, refreshments and quiet study places and recreational opportunities” and replace with “equal opportunities for everyone, including access to areas, such as refreshment places, quiet study areas, recreational facilities and computer learning centres.”</p> <p>P59 Top diagram suggests re-doing shelving as it is not low. Bottom left picture re-title “Easily identifiable parking space close to library entrance” .</p> <p>P 61 – diagram, suggests shelves and mirror in bathroom over basin. Last bullet, hyphen “footrests” .</p> <p>P62 – add comma after “telephone” and under Bathrooms, 2nd bullet re-write to read “shower facilities that can be accessed by people using portable shower chairs”</p> <p>P63 – 5th line after word “emergency” add word “escape”, remove comma after “plan” and change to a full stop. Start new sentence with “This ensures that” leaving out word “to” .</p>	<p>Changed. P56</p> <p>Changed. P57</p> <p>Changed. P59</p> <p>The focus of the picture was on the detailed design of the bedroom and not the bathroom. No change made. P61</p> <p>Changed. P62</p> <p>Changed. P63</p>

Representation Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
		<p>P63 – 1st bullet to read “reliable, flexible, and comprehensive systems”</p> <p>P63 – Refuge areas, 3rd bullet, remove (s) after word “users”.</p> <p>P 64 – Re diagram, check with fire brigade whether sign should be green. Beside communication point add a notice indicating purpose of area.</p> <p>P65 – Replace 2nd bullet with “that a person is nominated to be responsible for actioning evacuation procedures”.</p> <p>P71 – Remove 4th bullet – repeats last bullet. Diagram, move up the line indicating 1200mm, to higher up machine.</p> <p>P73 – 1st bullet, lower case “P” to start, 3rd bullet, remove “as appropriate” and add “where a website voice-over, requires translation”, 4th bullet change to “providing clear information in both text and pictorial formats”.</p> <p>P 74 – Check out quotes and add to bullets 6, 11, 12, 13, 14, 15, 16, 17.</p> <p>P75i – “This needs to go on front inside cover, and increase size of text!!”</p>	<p>P63</p> <p>Changed.p63</p> <p>Changed. P64</p> <p>Changed. P65</p> <p>Removed. P71</p> <p>Changed. P73</p> <p>Changed. P75</p> <p>Moved, Page i</p>

Representat ion Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
		P76 – “Not needed on finished product!” <ul style="list-style-type: none"> • The Association fully Supports the document 	Changed.



Access for All Supplementary Planning Document Adoption Statement

This statement has been prepared in accordance with Regulation 19 (a) of The Town and Country Planning (Local Development) (England) Regulations 2004 and gives notice that Harrow Council's 'Access for All' Supplementary Planning Document (SPD) was formally adopted on ? March 2006.

The Access for All SPD outlines how the Council will ensure that local services and facilities are accessible to everyone to increase equality of opportunity and social inclusion. The SPD is now a material consideration in the assessment and determination of any planning applications. In addition, appended to the SPD are the Sustainability Appraisal and Consultation Statement. The SPD will now be subject to the monitoring process that is required under the Planning and Compulsory Purchase Act 2004. In light of the continuing development of the Council's Core Strategy and Overarching Sustainability Appraisal report, it is proposed that the SPD will be reviewed by the Council within 12 months.

The Consultation Statement contains the main issues derived from the consultation processes which preceded the adoption of the SPD and how these were addressed in the adopted SPD. It details a list of consultees included in the SPD consultations. Appendix.

Any person who feels aggrieved by the decision of the Council to adopt the Harrow Council 'Access for All' SPD may apply to the High Court for permission to apply for a judicial review of the decision to adopt the SPD. Any challenge must be made on the grounds that the document has not been prepared in accordance with Planning and Compulsory Purchase Act 2004 or alternatively that a requirement of the Act or associated Regulations have not been complied with. Any such application must be made no later than 3 months after the date of adoption specified above.

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Supplementary Planning Document



Access for All

A Guide to Making Public Areas
and Services Accessible to Everyone



Please call the number below for a large print version of this document, or a summary of this document in your language.

- Albanian** Nëqoftëse gjuha Angleze nuk është gjuha juaj e parë, dhe keni nevojë për përkthimin e informatave të përmbajtura në këtë dokumentë, ju lutemi kontaktoni numërin dhënë.
- Arabic** إذا كانت الانجليزية ليست لغتك الأولى وتحتاج لترجمة معلومات هذه الوثيقة، الرجاء الاتصال على رقم
- Bengali** যদি ইংরেজি আপনার মাতৃভাষা না হয় এবং আপনি যদি এই প্রচারপত্রের তথ্যগুলোর অনুবাদ পেতে চান তাহলে যে টেলিফোন নম্বর দেওয়া আছে সেখানে দয়া করে যোগাযোগ করুন।
- Chinese** 如果你主要說用的語言不是英語而需要將這份文件的內容翻譯成中文，請打註明的電話號碼提出這個要求。
- Farsi** اگر انگلیسی زبان اول شما نیست و شما نیاز به ترجمه اطلاعات موجود در این مدرک را دارید، لطفاً با شماره داده شده تماس بگیرید
- Gujarati** જો ઈંગ્લિશ તમારી પ્રથમ ભાષા ન હોય અને આ દસ્તાવેજમાં રહેલ માહિતીનો તરજૂમો (ટ્રાન્સલેશન) તમને જોઈતો હોય તો કૃપા કરી જણાવેલ નંબર ઉપર ફોન કરો
- Hindi** यदि आपको अंग्रेज़ी समझ नहीं आती और आपको इस दस्तावेज़ में दी गई जानकारी का अनुवाद हिन्दी में चाहिए तो कृपया दिए गए नंबर पर फोन करें।
- Panjabi** ਜੇ ਤੁਹਾਨੂੰ ਅੰਗਰੇਜ਼ੀ ਸਮਝ ਨਹੀਂ ਆਉਂਦੀ ਤੇ ਤੁਹਾਨੂੰ ਇਸ ਦਸਤਾਵੇਜ਼ ਵਿਚ ਦਿੱਤੀ ਗਈ ਜਾਣਕਾਰੀ ਦਾ ਤਰਜਮਾ ਪੰਜਾਬੀ ਵਿਚ ਚਾਹੀਦਾ ਹੈ ਤਾਂ ਕਿਰਪਾ ਕਰਕੇ ਦਿੱਤੇ ਗਏ ਨੰਬਰ ਤੇ ਫੋਨ ਕਰੋ।
- Somali** Haddii Ingiriisku uusan ahayn afkaaga koowaad aadna u baahan tahay turjumidda xog ku jirta dokumentigan fadlan la xiriir lambarka lagu siiyey.
- Tamil** ஆங்கிலம் உங்கள் தாய்மொழியாக இல்லாதிருந்து இப்பத்திரத்திலிருக்கும் தகவலின் மொழிபெயர்ப்பு உங்களுக்கு தேவைப்பட்டால் தயவுசெய்து தரப்பட்ட தொலைபேசி எண்ணில் தொடர்பு கொள்ளவும்.
- Urdu** اگر انگریزی آپ کی مادری زبان نہیں ہے اور آپ کو اس دستاویز میں دی گئی معلومات کا اردو ترجمہ درکار ہے، تو براؤ کر مئی گئے نمبر پر رابطہ کریں۔

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Written and produced by

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Foreword

It is often the finer points of access that are forgotten in the development process. The intention of this guide is to encourage designers and developers to anticipate and overcome restrictions that prevent people from making full use of a building, the facilities and surroundings. It is also the aim of this guide to promote standards of access which reach above and beyond the minimum requirements of legislation, by fully integrating 'best practice' solutions into the design and planning process.

Building on its commitment to promoting an environment from which no one is excluded, Harrow Council is harnessing the creative attributes of all professionals involved in the design and implementation of new developments.

With deliberate, persistent effort and teamwork, an accessible environment that is truly inclusive, can become a reality for the whole community of Harrow.



Andy Parsons
Group Manager, Planning & Development

A handwritten signature in purple ink that reads "Andy Parsons". The signature is written in a cursive, flowing style.

Introduction



Most people, at some stage during their life will experience some form of mobility impairment. This may occur during pregnancy, after an accident or period of ill health, when we are children, as a result of temporary or permanent disability, or simply as we get older. In fact, there are over 9 million people with some form of impairment living in the UK today. They are approximately 15% of the total population. It is worth remembering that a good environment for disabled people is a great place for everyone.

The introduction of new legislation has increased people's awareness and obligation to create environments that are user friendly and designed to welcome everyone, of any age, size and ability. The aim of this guide, is to assist in reducing the number of 'no-go' buildings and inaccessible facilities and services within the borough.

To assist applicants in the swift processing of planning and building regulation applications, developers should be aware, from the beginning, of the criteria used for planning accessible environments. Harrow Council actively welcomes your early consultation with the Planning Department as "inclusivity" is key to meeting planning requirements.

These guidelines have been prepared to illustrate some possible answers to the questions most frequently asked and relate to both new and existing developments. We are fully committed to creating an environment that is free of physical barriers and we are looking forward to a new era of co-operation between designers, planners and developers, who will fully embrace the principle and spirit of 'Access for All'.

Inclusive Design



Principles

When designing new developments, making substantial alterations to existing buildings, or planning facilities or services, the 'access for all' approach, should be a prime consideration, right from the start. When this approach is used, full access for everyone can be included as integral, unobtrusive and welcoming features of the overall design.

Improved legislation has put access solutions at the forefront of design and the provision of services.

In driving forward the 'access for all' initiative, Harrow Council are pleased to give pre-application advice, to ensure that evidence of inclusive design is supplied as a routine and integral part of planning applications.

Benefits

Inclusive design is:-

- **a useful tool for marketing new buildings.** Accessible buildings allow for an increase in value.
- **the most successful, cost-effective, and aesthetically pleasing approach.** This ensures that mainstream environments meet current access legislation.
- **fundamental to business sustainability.** Occupiers and other purchasers have come to realise that people are more attracted to accessible buildings and services, while poorly accessible buildings actually deter potential customers.
- **crucial to employment and service provision.** Providers are increasingly aware of their legal obligations, and seek to acquire accessible buildings rather than those requiring post construction alterations, which require costly, time consuming and disruptive building works.

Access Statements



An Access Statement is a document illustrating what has been done from the start to ensure buildings, services and facilities are accessible to disabled and non-disabled people alike.

Access Statements are now central to the Planning Application process and Harrow Council is empowered to formally address detailed access issues as a key principle for granting permission. Designers, developers and clients are now obliged to provide statements covering the finer details of access as part of the overall design process.

An Access Statement could begin life as a one-sentence explanation that demonstrates a commitment to incorporate the principles of inclusive design at every level. It is a live

document that changes and grows as the development progresses. It seeks to ensure that access is, and remains, inclusive to a development and not merely ancillary to its existence or the services it provides. (Also see section Communicating and Accessing Services, P66).

At detailed Planning Application stage - the Access Statement will need to demonstrate how compliance with BS 8300 2001, and Part M to the building regulations 2004 will be achieved. Familiarity with, and inclusion of relevant parts of the Disability Discrimination Act 1995 should also be demonstrated.

At Building Control stage - the statement may need to be expanded further to demonstrate the finer detail of access provisions.

At Building Completion stage - the Access Statement should form part of the establishments' operational procedures, providing management personnel with sufficient background, to ensure that all accessibility features remain in place throughout the life of the building.

Access Statements must be submitted with a planning application to avoid unnecessary delays or rejection of an application.

The precise details of an Access Statement will vary according to the type of project. Regardless, each statement should identify the:-

- philosophy and approach to inclusive design
- key issues of the scheme
- sources of advice and guidance used.

Further information about writing an Access Statement can be obtained from Harrow Council's Development Control Department.

Access Legislation



Disability Discrimination Act 1995 (Amended by the DDA 2005)

The Disability Discrimination Act 1995 (DDA) has been phased in over several years. The initial legislation introduced measures to ensure that disabled people received the same level of service, whilst also making it unlawful to continue discriminatory practices in workplace environments. It is now also unlawful to prevent disabled people from using a service on the grounds of impairment alone.

All service providers, ranging from banks to bakeries, are now required to make reasonable adjustments to services to enable disabled people to gain equal access to the service. Service providers must also remove physical barriers by taking measures to alter any physical feature, which prevents disabled people from making

full use of those facilities. Modifications to premises often involve relatively low-cost changes and can be introduced with minimal inconvenience to 'business as usual'.

The legislation concerning the removal of physical barriers came into force on 1 October 2004. All service providers have a duty to anticipate the access requirements of disabled people and to make suitable adjustments to facilitate independent access. Failure to take reasonable steps to facilitate access, whilst not necessarily actionable in itself, can aid a case for discrimination against the service provider concerned.

Part M to the Building Regulations

This legislation introduces improvements to the physical features of new developments and buildings where major alterations are desired. It also incorporates into the design of public buildings, the access requirements of people with sensory impairments.

British Standard 8300: 2001 - Code of Practice

British Standard 8300 is a source of 'best practice' focusing on the design of buildings and their approaches to meet the needs of disabled people. It has been introduced to assist architects, town planners, builders, surveyors and facilities managers with implementing innovative design solutions in meeting the requirements arising out of the Disability Discrimination Act.

Buildings Surroundings and Access Routes

The council will require access roads or pedestrian routes, provided as part of any development, to promote a safe, continuous and barrier free passage from the pavement or parking area to the main entrance of a building. This design approach enables people with visual impairments to predict and anticipate obstacles.

Separate, non-integrated access routes for disabled people are unacceptable and must be avoided. Where an alternative route is necessary for the purposes of by-passing a physical barrier such as a flight of steps or a ramp, the route must remain close by and form part of the integral design of the scheme as a whole.

Access routes for pedestrians should be designed in accordance with BS 8300 to include:-

- a designated clear corridor which has at least 1200mm of unobstructed clearance between items of street furniture
 - smooth and level paving particularly avoiding the use of gravel or loose chippings on paths
 - 'warnings underfoot' (textured paving), or warnings that can be detected during the sweep of a cane, thereby reducing the risk of visually impaired people colliding with obstacles along the way
 - dropped kerbs at intersections, seamlessly adjoining with the road or surface level, at least 1.4 metres wide and not steeper than 1 in 12
 - drainage gratings, grid and inspection covers that are flush with adjacent surfaces
- tactile paving to be provided at all crossing points

- clearly distinguishable traffic routes including cycle paths by a change of level and texture, as appropriate
- at least 2100mm height from the pavement to any overhead protrusion from a building
- clearly contrasted street furniture, making it more obvious to visually impaired people
- pedestrian circulation areas, clear of freestanding advertising, such as 'A' boards
- positioning any necessary bollards at 1m high, 900mm apart and without chain links
- lighting to a minimum of 100 lux.



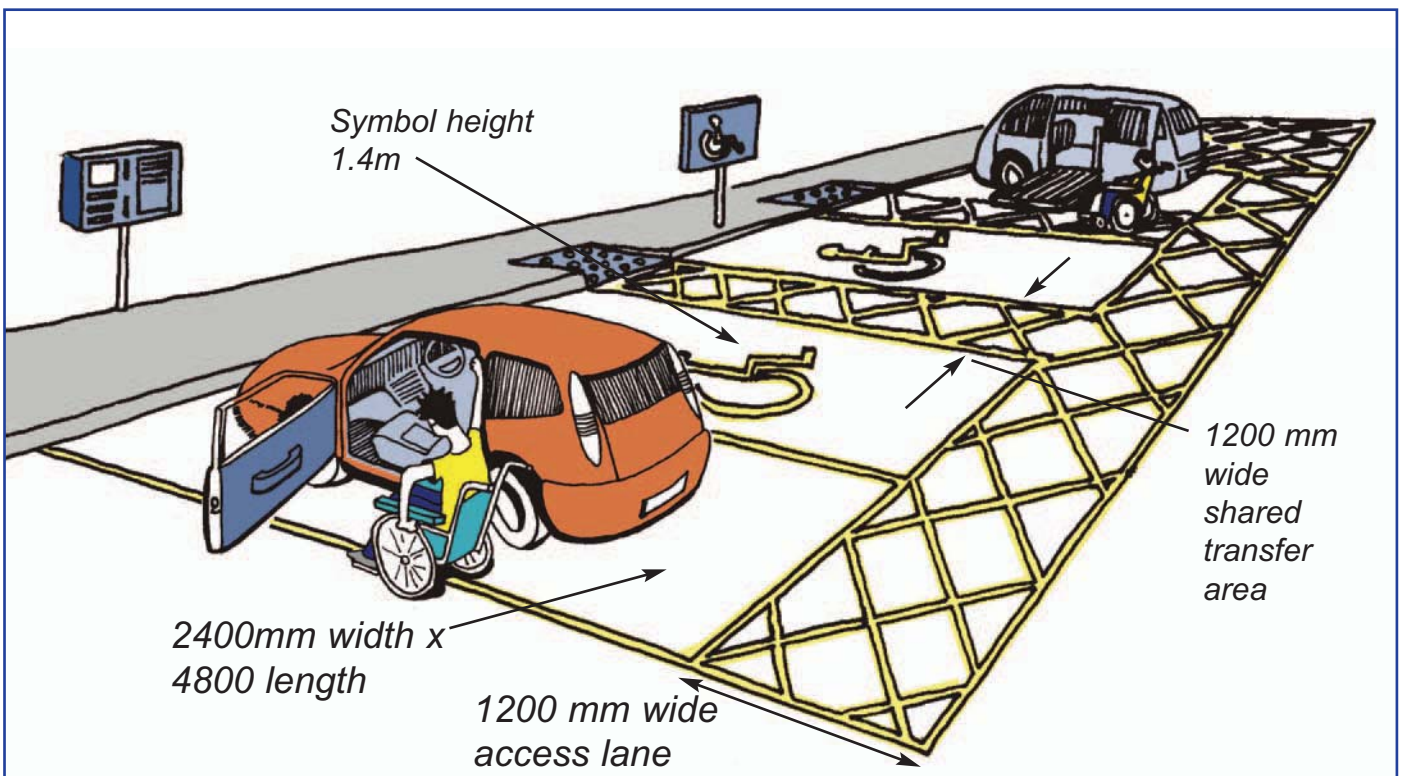
Accessible Parking

Design of Parking Bays

Parking bays for disabled people should be designed to ensure that sufficient space to the side and rear of the vehicle is provided, to allow wheelchair users unobstructed access to the side and rear of their vehicle, whilst being protected from other traffic.

Location of Parking Bays

Whether on or off-street, accessible parking bays should be located close to popular facilities such as banks, post offices, large stores and supermarkets.



Accessible vehicle parking should be designed to BS 8300 and should:-

- be located within 50m of the entrance, where parking is designated to a particular building
- be designated 1 in 20 of total available parking spaces
- be clearly signed to be visible from the car park entrance
- be on level and firm ground
- be under cover where possible
- clearly indicate payment arrangements for blue badge permit holders
- have a dropped kerb provided nearby for access to the pavement, as appropriate
- provide a clearly identifiable, safe and straightforward access route, from the car park to the building.

Parking Control Equipment

Parking meters, pay and display ticket machines and barrier controls should be designed in accordance with BS 8300 and should be:-

- at a suitable height for disabled users to see and use (between 1000mm and 1400mm above surrounding ground)
- mounted on the ground (no plinth or step) and easily reachable
- installed according to specification set out in British Standard BS 6571-4: 1989.

When use of barrier control equipment is necessary to enter a car park (where a ticket or token has to be taken from the machine by the motorists using their car), alternative arrangements should exist to allow drivers with limited or no reaching ability, to gain access to the car park.



Displaying a car park management telephone number or subscription to the National Service Call scheme, will assist in instances of difficulty.

Alterations or ‘Change of Use’ Planning Applications

Harrow Council will expect to see appropriate access improvements as part of planning applications relating to new buildings, material alterations and material changes of use. Access improvements for the alteration of existing buildings should be in keeping with the principles of BS 8300 and could include:-

- improvements to approaches, e.g. paths and paving
- use of ramps, stairs, platform lifts that are fitted with handrails, to overcome stepped level differences
- appropriate fixing of handrails
- introduction of improved lighting, widening of doors, and slip resistant and glare free flooring
- the introduction of minor changes such as alteration or replacement of door handles, position or direction of door openings and positioning of light switches
- improvements to reception areas
- introduction of accessible toilet facilities
- installation of equipment to enable or enhance communication
- use of touch, sound, fragrance and air movement, to assist those with visual impairment, in locating and navigating
- improved signage
- introducing colour or tonal contrast between features, e.g. door frames, walls, skirting panels, floors, furniture or equipment, etc
- improvements to fire and emergency egress provisions, including management procedures.

Retail Units

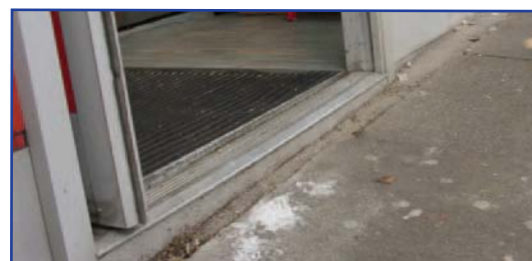
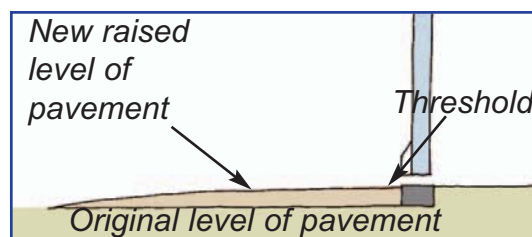
A significant proportion of shop units in Harrow are inaccessible to disabled people, mainly because of the difference in level between the pavement and the shop floor. The council will therefore require all retail outlets undergoing refurbishment, (particularly where a new shop front is to be installed) to provide level or suitably ramped access.

In considering planning applications, the council will invoke its discretion and judge each case individually.

Illustrative examples of how access can be achieved are detailed as follows:-



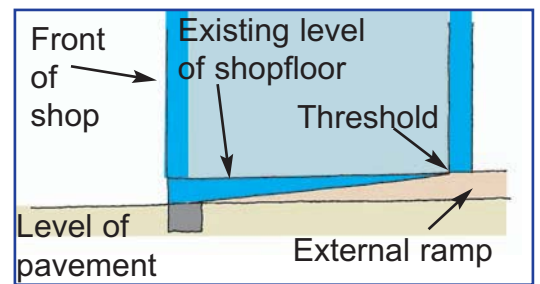
Option 1:- Accessible threshold



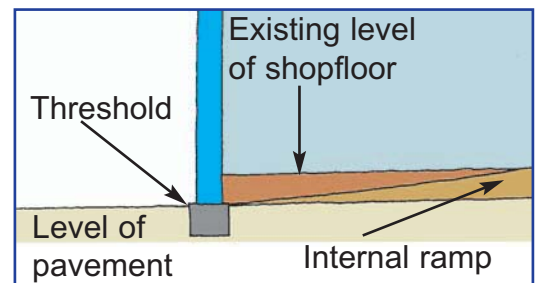
Previous stepped entrance



Accessible entrance



Option 2:- Accessible shop entrance achieved by recessed door & external ramp



Option 3:- Accessible shop entrance achieved by lowering a section of internal floor

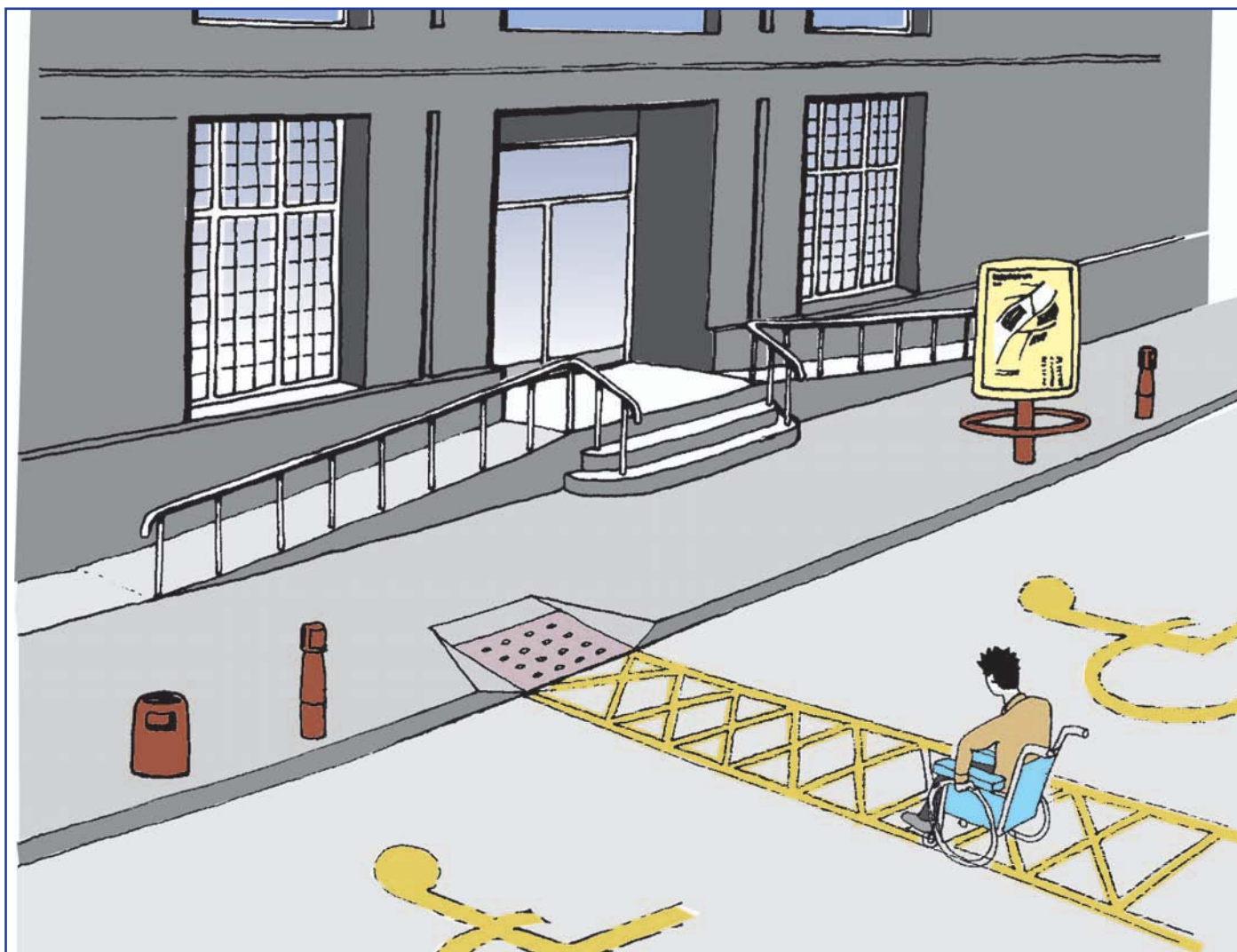
Entry into a Building

Regardless of type of application and whether or not building works are proposed, the council will require all applicants to ensure that level or suitably ramped entrance access is provided. In new buildings level access is preferable.

Introducing access improvements need not be difficult or expensive, and Access improvements may be funded by the business establishment, or where appropriate, considered as part of any on-going highways improvement programme.

Alterations to entrances should be designed in keeping with the principles of BS 8300 and could include:-

- making the entrance obvious and easy to use with building number and name between a height of 900 and 1400mm
- being level with the pavement
- ramping the internal or external ground surfaces to the same level as the pavement
- being fitted with sliding automatic doors, or a door that can be opened by means of operating a control switch, avoiding turnstiles, revolving and swing doors
- doors with vision panels, between a height of 900mm and 1500mm from the ground
- manifestation (suitable permanent marking) to fully glazed doors, between a height of 850mm to 1000mm and 1400mm to 1600mm from the ground
- a clear opening door width of not less than 830mm
- doormats which are sufficiently recessed to minimise tripping hazards and which do not impede the free movement of people with buggies or using wheelchairs

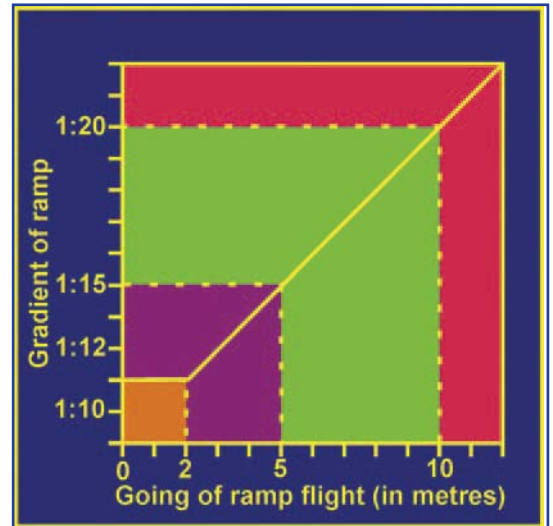


- avoiding coir matting (difficult for wheelchair or stick users to negotiate)
- providing the leading edge (door handle side edge) of the door with an adjacent clear space of at least 300mm
- allowing for easy and regular adjustment of closers on manually operated doors, so that the minimum force needed to open the door can be maintained.

Alternative to Level Entry

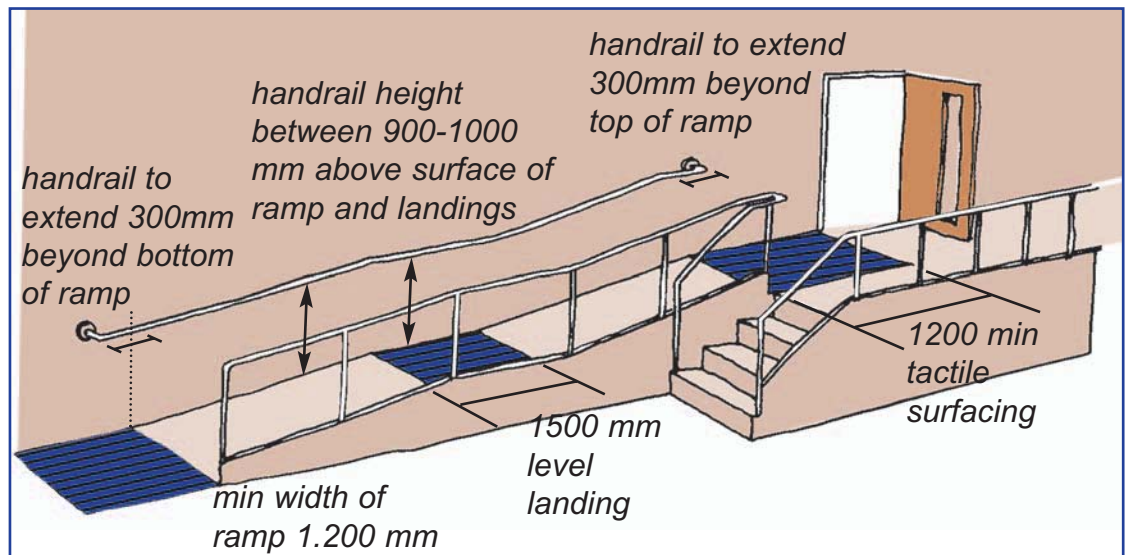
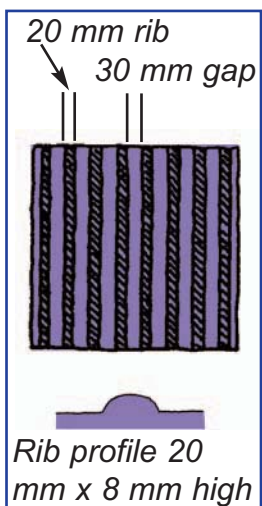
There will be instances particularly when improving access into existing buildings where level entry may not be achievable. Where it becomes necessary to incorporate alternative access arrangements into a scheme, it is important to:-

- warn people, (particularly those who are visually impaired), with tactile surfacing and colour contrasting stair tread nosings, that they are approaching a flight of steps
- ensure that the access ramp is designed in line with Part M to the building regulations and that its location is easily identifiable, particularly to first time visitors.



The relationship between the ramp length and gradient

Approach to stairs



NatWest Bank in Harrow town centre. An historic and listed building with original stepped entrance making access difficult.



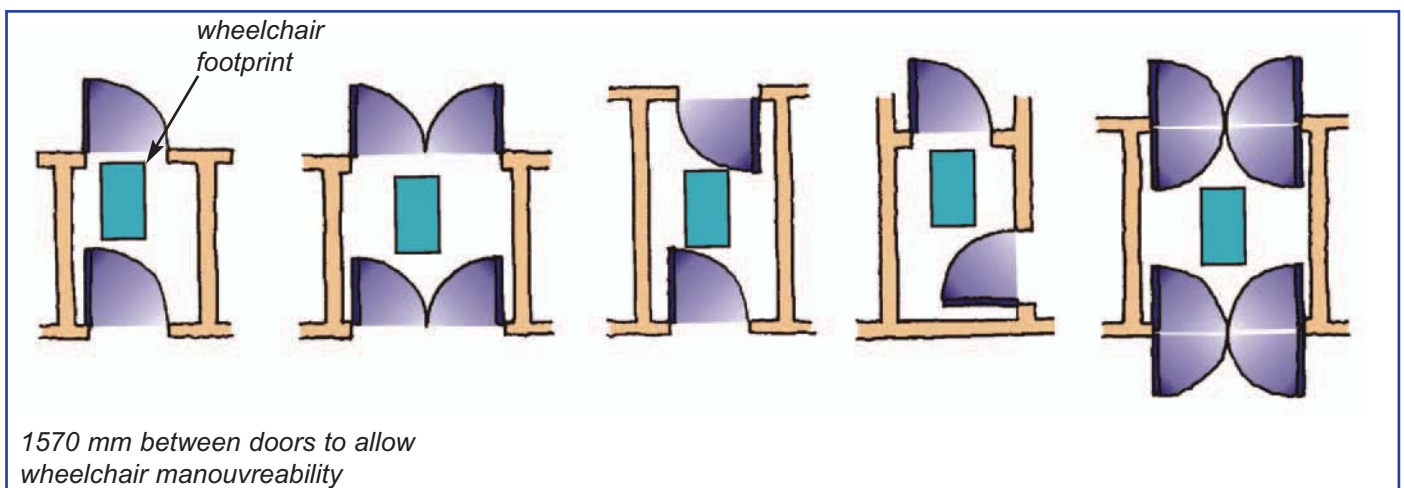
New access ramp and steps. (Sensitively designed to maintain the building's historic character whilst providing equal access).

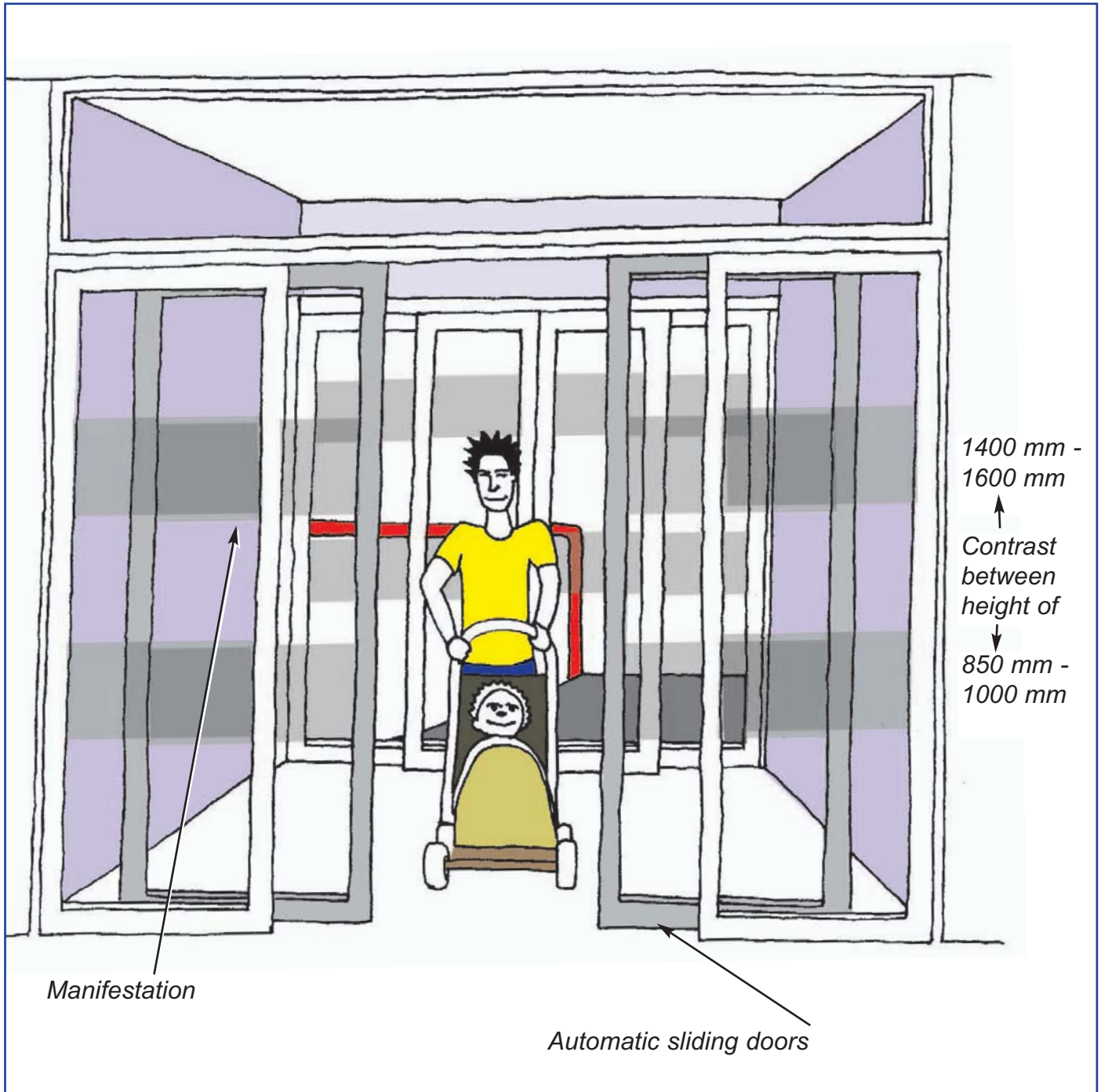
Design of Lobbies

Lobbies can be major obstacles to access, particularly for wheelchair users if they are not designed correctly. In order for a lobby to be user friendly, the design should follow guidance laid out in BS 8300 and should:-

- have automatic sliding or power assisted swing doors
- provide space for a person assisting, to open a door and easily assist a wheelchair user through
- not have glazing which creates distracting reflections
- have guardrails or other hazard protection, in contrasting colour and luminance, where columns, ducts and other elements project more than 100mm into the access route within a lobby.

Key Dimensions for Lobbies with Internal and Externally Opening Doors





Reception Areas

Whilst Reception areas are usually designed to be warm and welcoming, accessible features are often forgotten.

When we consider people and their abilities as a primary design objective, we can begin to adopt a more coherent and systematic approach in promoting environments and services that are welcoming.

Reception features should be designed in accordance with BS 8300 and should include:-

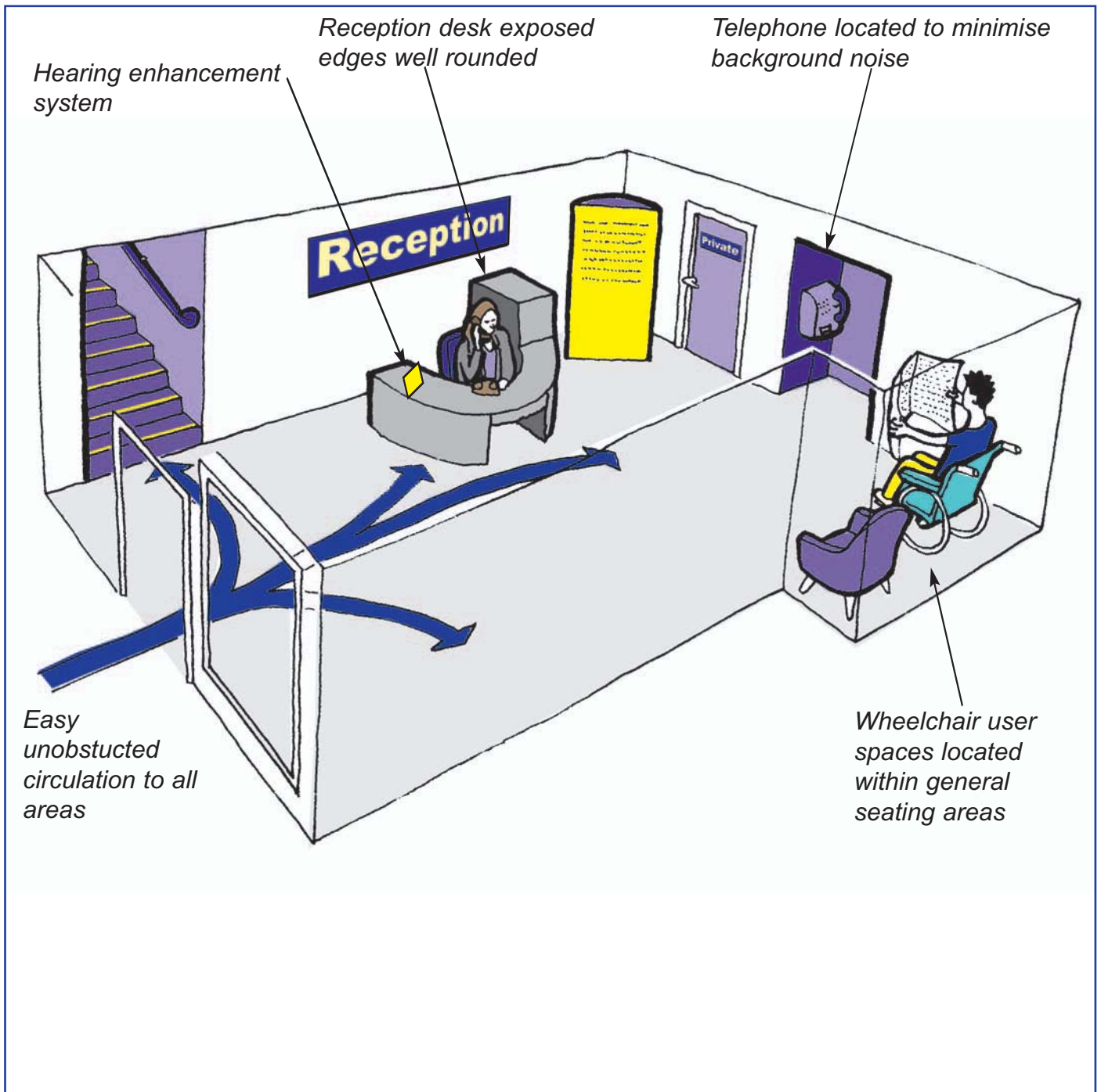
- signage which is clear, concise, with consistent use of terminology, providing stark contrast in colour between text and background
- clearly defined, well lit, unobstructed routes to reception counters, lifts, stairs and WCs, with plenty of circulation space
- suitable protection against protruding door space, e.g. recessed door or handrails
- suitable warning signs which alert visitors to outward opening doors
- areas that are quiet and well lit, to assist hearing impaired people with communication
- spaces for wheelchair users in waiting areas, which are integrated into the seating arrangements
- seating at varied heights, with and without arm rests as the preferred option
- telephones, located where background noise is minimal and fitted with accessible features (e.g. large number keypads and technology to assist hearing aid users, at a height that allows wheelchair users to read any visual display panels and to use the telephone with ease) and a pull-down seat

- a hearing enhancement system as a permanent feature, particularly where the customer is separated from the service provider by a glazed screen (see section on Hearing Enhancement Systems).
- have exposed edges well rounded
- provide access for wheelchair users both sides of the counter
- allow for sufficient counter space which facilitates people signing documents

Reception desks or counters should:-

- be set at a height suitable for seated and standing users with high and low sections where possible
- have an upstanding lip at the edge of the counter, which assists the user in picking up loose change or tickets
- have contrast between objects and surfaces with the top of the counter contrasting with the edge
- not be located in front of windows or reflected light, as this can result in silhouetting which prevents lip reading.





Moving Around a Building

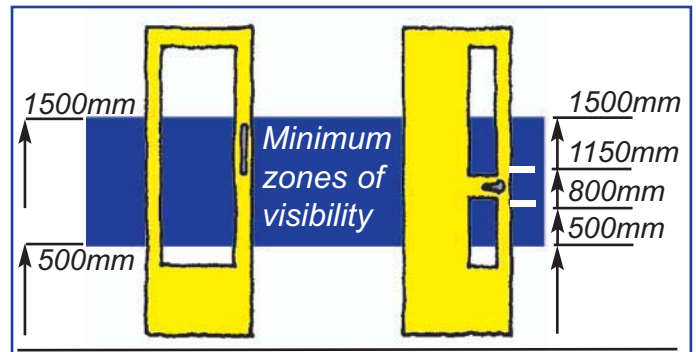
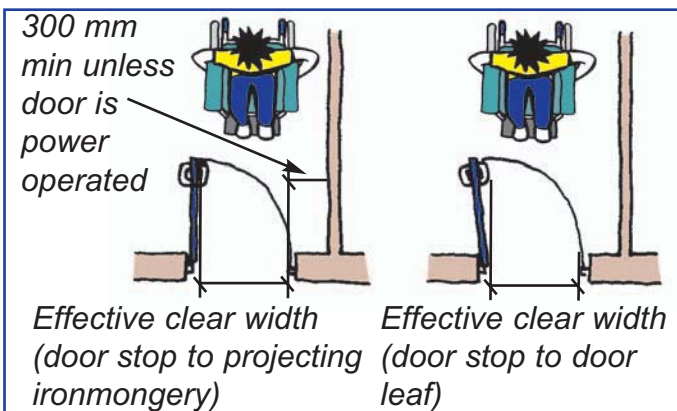
When consideration is being given to making a building accessible, it is important to consider the wider issues of access, not just points of entry and exit. When designing the internal features of buildings it is important to consider exactly **how** people are going to use the building and **all** its facilities.

The internal layout and features should be designed in line with Part M to the Building Regulations and BS 8300.

Internal Doors

These should:-

- be at least 750mm wide, or 775mm where the door leads from a 1200mm corridor at a 90° angle



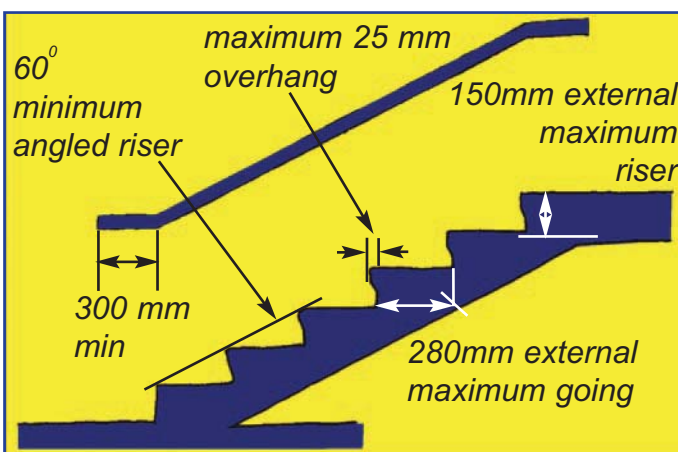
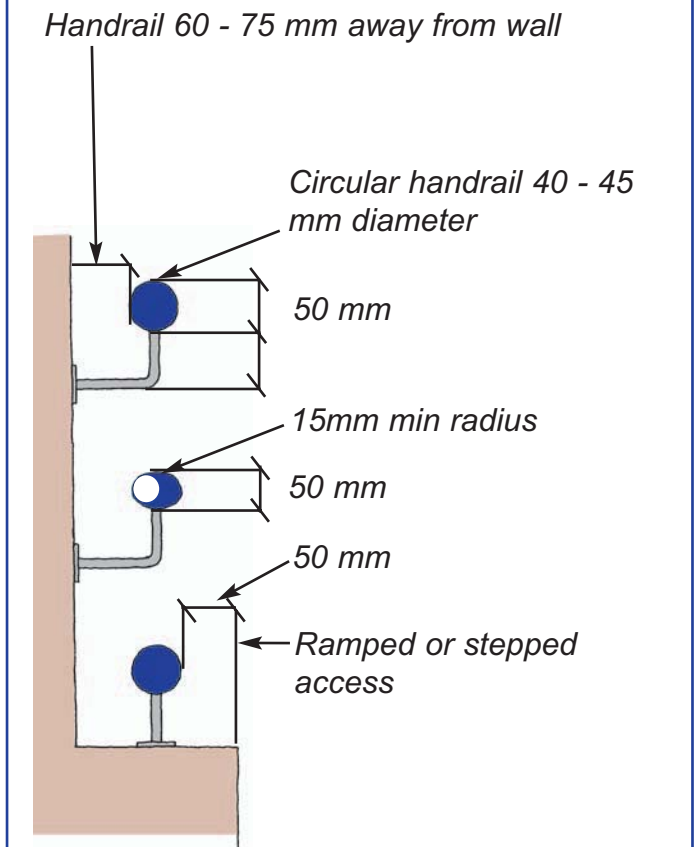
- be fitted with easily gripable lever door handles
- have a door closer which does not apply a pressure of more than 30 newtons (30 N from the closed position to 30° open, and not more than 22.5 N from 30° to 60° open)
- have 300mm to the side of the leading edge and contrast in colour and luminance with the remaining surfaces of the door and its surroundings
- have architrave which contrasts in colour and luminance with the wall surfaces surrounding the doorway
- contain vision panels at a height of 900mm to 1500mm, particularly when sited across a circulation route and where there is heavy pedestrian use.

Steps and Stairs

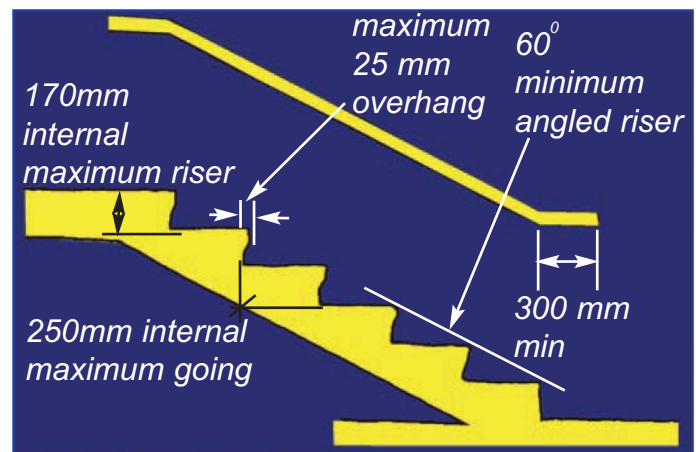
Stairs should have:-

- warning surfaces to indicate a change in level on the approach to internal stairs
- nosings which are clearly contrasted in colour and luminance with the remaining stair area
- individual flights which do not rise more than 1.8 metres and which have resting places
- a clear width of 1000mm
- closed risers of 150mm to 170mm with tread/goings between 250mm to 300mm.

Handrails Design



External Steps Design



Internal Steps Design

Corridors

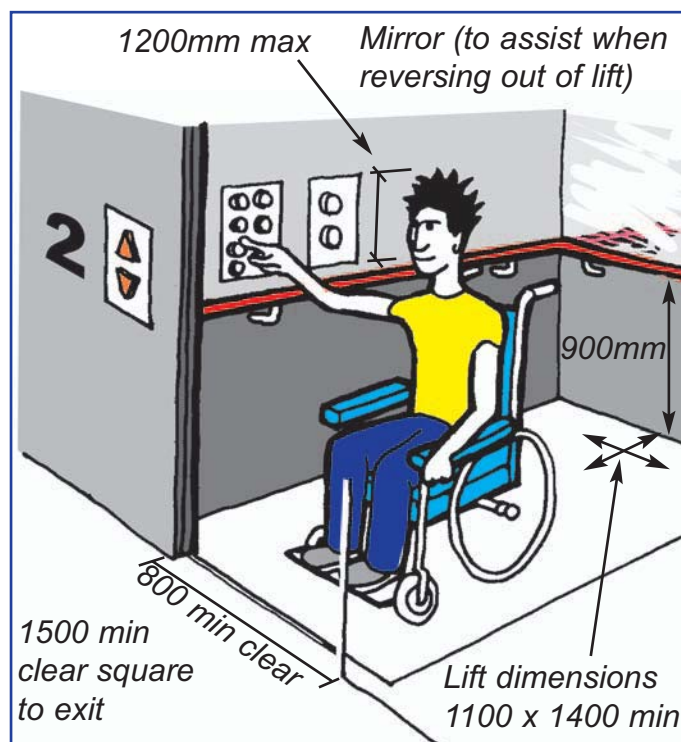
Corridors should have:-

- a minimum clear width of 1200mm, with a 1500mm turning circle available at least every 10 metres
- passing places for wheelchairs, where the corridor width is increased to 1800mm at reasonable intervals and at corridor junctions
- recessed areas where radiators and safety equipment may be positioned
- diffused lighting which does not produce glare, reflection or shadow
- floor coverings that cannot be mistaken for steps, e.g. avoiding horizontal stripes
- a recess at least as deep as the width of the door leaf for any door that opens onto a corridor.

Lifts

In line with BS 8300 lifts should have:-

- clear signage, visible from the building entrance, indicating the location of an accessible lift (see Signage & Wayfinding)
- a clear manoeuvring space of 1500mm x 1500mm in front of the entrance to all types of lifts
- landings illuminated to at least 100 lux



- seating in close proximity to the lift waiting area
- lift controls mounted between 900mm and 1100mm from floor level and at least 400mm from any return wall to allow reach by wheelchair users
- raised symbols on the control buttons to enable tactile reading
- audible announcements of lift arrival, direction of travel and level reached and where appropriate, services offered on that level
- a mirror on the back panel of the lift car, opposite the lift door, at a height of 900mm above floor level, in order to allow a wheelchair user to see behind them
- a sign indicating the floor level which can be easily seen from the lift car, or on exiting the lift.

Public Toilets

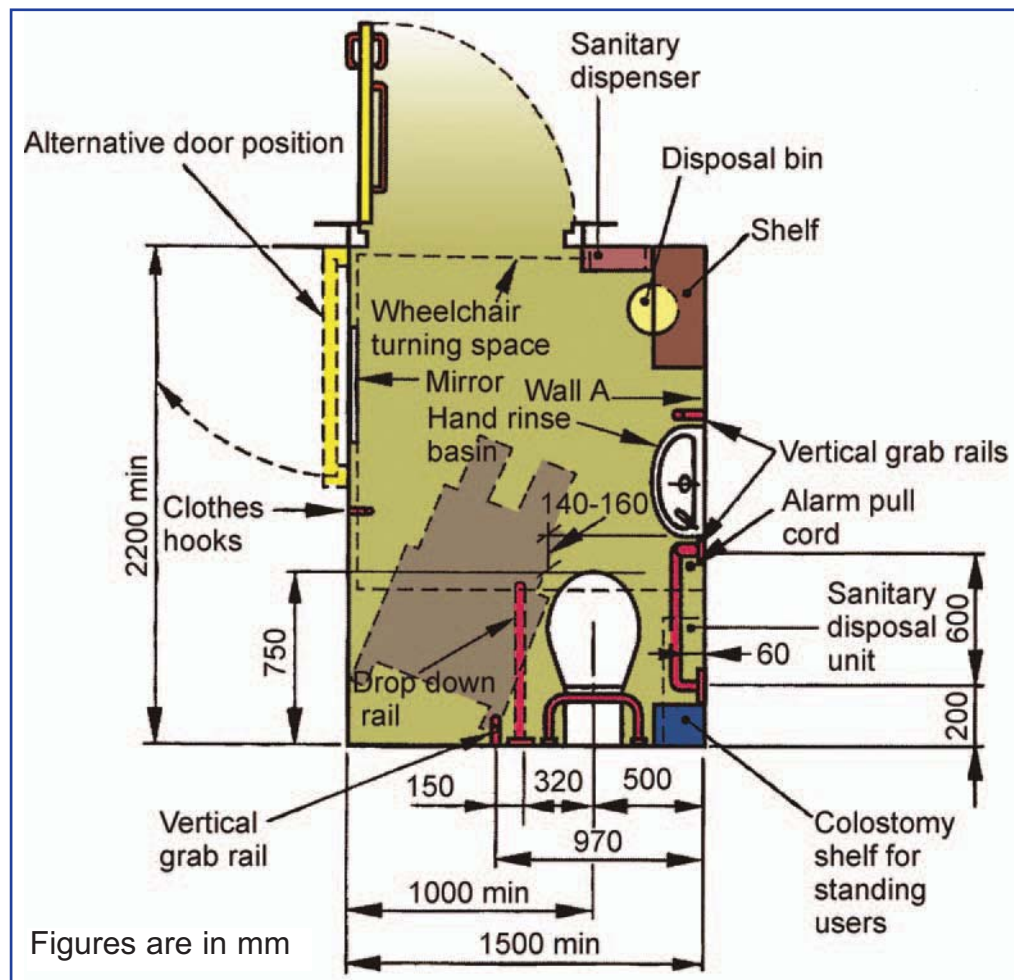
Public toilets should be provided for the use of visitors and staff. Access to public toilet facilities near the entrance

of a public area (such as a bar or restaurant) should be conveniently located and readily accessible to disabled people who use the facilities independently, and to those people who need assistance. Accessible toilet facilities should be adjacent to any other toilet facility provided and should be unisex, in order that the person needing support may be assisted by a member of the opposite sex.

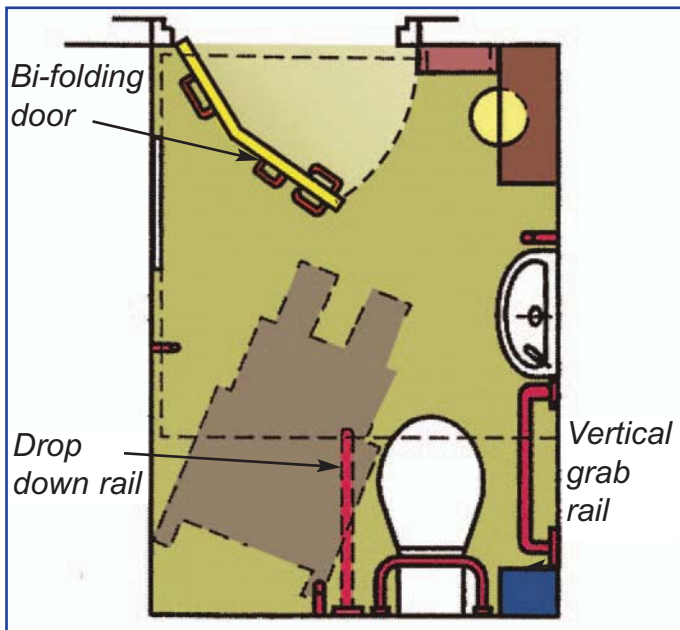
Provisions could include:-

- slip resistant flooring
- both horizontal and vertical door pulls, to enable the door to be closed after entering
- locks to be of a lever action or similar type that are easy to use
- a combination of left and right hand transfer areas allowing access to toilet facilities
- washing and drying facilities that are both reachable when seated on the WC and easily accessible by wheelchair users

- fixtures and fittings that are clearly visible and contrast in colour with their background
- grab rails, handrails and drop-down rails that are plastic coated and easy to operate
- padded WC backrest
- strong and firmly fixed toilet seat (475 - 480mm above floor level) that will not move about during transfer
- automatic hand basin taps
- automatic flush mechanisms
- easy to grasp emergency cords that extend to the floor



- dispensers that allow for easy one handed operation, e.g. toilet roll
- a 2-way, hands-free intercom system
- motion sensors for lighting
- fixed, full-length mirrors for use by both seated and standing users



for use when an outward fitting door would be dangerous to passers by

- a shelf and rail on which to hang coats or place personal item, e.g. coats, handbags, mobile phones, shopping, etc
- recessed fittings/facilities such as waste bins, vending machines, radiators, etc
- pipes that do not block access or manoeuvring space
- emergency alarms that are audible and visual, that will provide immediate assistance

- sealed waste container for disposable items
- a full-length changing bench for adults
- height adjustable baby changing facilities
- electric hand dryer at appropriate level.

If provision is made for more than one toilet, left and right handed layouts should be provided. All toilet provisions should conform to the minimum requirements of BS 8300: 2001 and should be suitable for use by both staff and visitors.

Toilets should not be used for storage, thus taking up space intended for manoeuvring a wheelchair.

The internal layout and features should be designed in line with Part M to the building regulations and BS 8300.

Signage and Wayfinding

An accessible signage system is one that can be seen, felt and heard, and should be regarded as an integral part of any design.

Even well laid out buildings require signage which is clearly designed and positioned to enable building users to easily navigate. For people with little or no sight, visual signs are of little or no use.

Signs should be designed in accordance with BS 8300 and should consider the following features:-

Text & Language

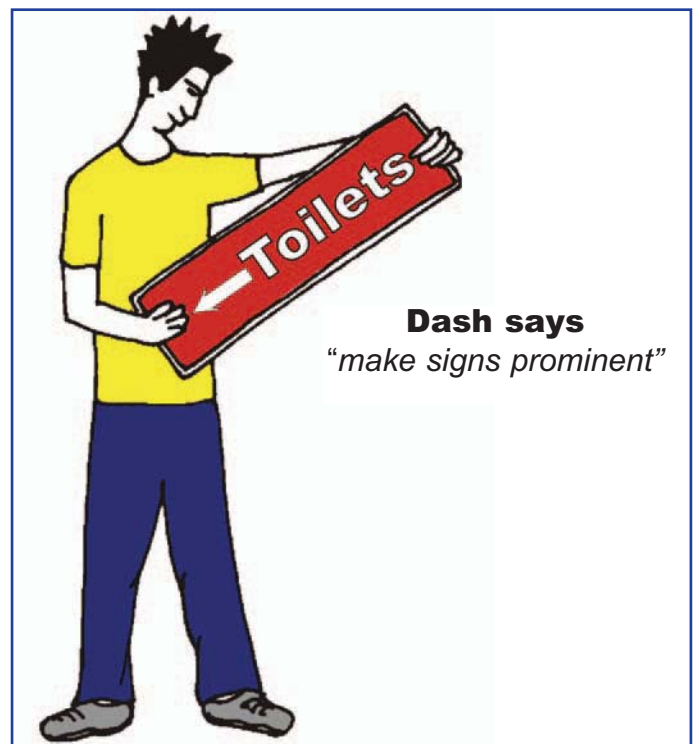
This should:-

- use plain language
- be large, clear, legible and concise
- use symbols or pictograms in addition to written words
- be consistent with the use of terminology throughout the building

Characters

Characters should be in accordance with BS8300 and should:-

- have a character size of 50-100mm, for medium range reading, e.g. identification signs in reception areas
- have a character size of 15-25mm, for close-up reading, e.g. wall mounted information signs



- be formatted using a character height between 15-50mm (as appropriate), with clearly defined rounded or chamfered edges, and a mix of both upper and lowercase lettering
- have a minimum character size of 150mm for external long distance reading, e.g. to identify a building entrance.

Positioning

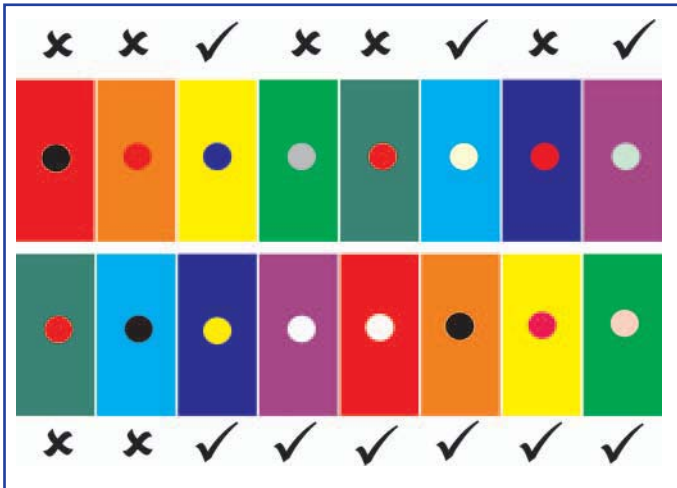
This should be in accordance with BS8300 and should:-

- be at the same height throughout a building, ideally within 1400mm-1700mm from the finished floor level, except for signs which include a control element
- be within a range of 900mm-1200mm above finished floor level where it relates to a control element, e.g. lifts and door entry systems
- be positioned, where suspended from the ceiling, to allow a minimum headroom of 2000mm



Light lettering, contrasting with dark background, on a pale wall

- be positioned where they can be easily touched, e.g. lift controls, door numbers, lockers and WC doors. The depth of embossing for text is a minimum of 1-1.5mm
- be sized and positioned to ensure they are noticeably visible from all angles of approach to a building.



Example of good & bad colour contrasts

Colour

Signs should be in accordance with BS8300 and should:-

- have lettering distinguishable from the background by use of suitable colour contrast
- be mounted on a colour contrasting background.

Lighting for Signs

This should accord with BS8300 and should:-

- be provided with supplementary lighting in gloomy areas

- be back-lit, only when necessary, to levels that achieve acceptable visibility without introducing excessive glare or distortion to the colour contrast scheme.

Specific Features

All features should be in accordance with BS8300 and should be:-

- designed to incorporate tactile, embossed and audible elements, where possible
- designed with Braille lettering positioned directly below standard text



Easily identifiable signage, contrasting in colour and luminence with building fabric.



- include pictograms, to facilitate those for whom reading is difficult.

Where there is a group of signs relating to a large department, it may be preferable to group them by colour.

Sign with clear lettering and Braille, contrasting with dark door background

- have a non-reflective surface and not be behind glass
- have white lettering on a dark background for good legibility if accompanied by a matt surface (for people with sight impairments, the clearest signs are black on yellow)

Audible Signs

In buildings where members of the public are required to move around and navigate independently, audible signs should be provided. Anywhere a visual sign exists, an audible sign would be of equal value. Talking sign systems allow even totally blind people to navigate around a building and find their way to specific features such as a telephone booth. These systems work by sending recorded messages to a personal receiver, which can be heard through an earpiece or lapel badge speaker worn by the user.

In addition to wayfinding and locating facilities within buildings, the use of talking signs could be extended to wayfinding outside the building.



Fixtures and Fittings

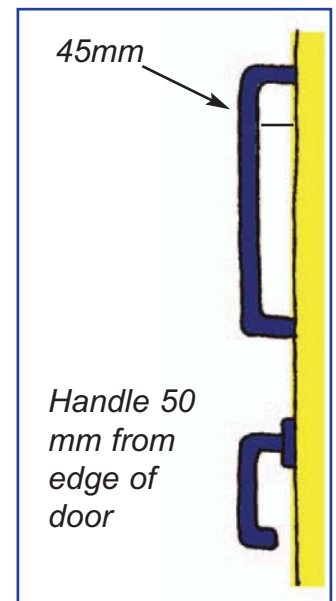
Fixtures and fittings should be clearly visible and access to them should be direct and unobstructed. This ensures that everyone can move around and use a building with maximum ease.

Door Furniture

Doors considered accessible should:-

- be clearly visible and fitted with 2 permanent coloured bands that contrast with their background, fixed at 850-1000mm and 1400-1600mm from the floor. They should each be at least 150mm wide
- be held open on electromagnetic door closers where internal fire doors are required
- when automated and opening out, be designed to prevent collisions from passers-by e.g. recessed
- be fitted with furniture that contrasts in colour, e.g. a blue handle on a yellow door

- where locked, contain security features that allow independent use by people with limited reach, strength and dexterity, e.g. proximity card readers
- be fitted with door furniture that enables independent use by people who have limited grip, e.g. a lever type handle rather than a door-knob (See figure)
- not be revolving.



(Advice on fire doors should be sought from a Fire Officer.)

Lighting, Equipment, Controls and Switches

Lighting is particularly important to aid communication and for strong definition of objects (needed by people with sensory impairments in order to safely move around).

Lighting should be:-

- at consistent levels throughout the building to reduce shadows, and areas which have patches of lightness and darkness
- sufficient for those using communicators (e.g. sign language and lip speakers)
- flexible to cater for individual requirements, e.g. those who require bright light, or conversely, to accommodate those who require a less light environment.
- flexible, so that positioning can be individually controlled to avoid glare. (Care should be taken not to exceed the 2.0 glare index).

Beware: whilst fluorescent lighting eliminates shadows, it can, however, adversely affect the operation of nearby Induction Loop systems. (See section on Hearing Enhancement Systems for alternatives).

Where building users are required to control lights or equipment, careful consideration should be given to ensure that switches:-

- are automated (where appropriate), e.g. presence detecting sensors can be used to operate lights
- can be easily located and approached
- contrast in colour with the background mounting surface
- are sited at a height of 1200mm above the finished-floor level
- are easy to operate, e.g. of a large enough size not to require significant manual dexterity
- have built-in flexibility to allow for the fine adjustment of a device, e.g. air conditioning units.

Colour

Whilst sighted people will often use colour as a subconscious sense (e.g. red for danger), people with visual impairments are reliant upon colour to give definition between objects and to create a degree of spatial and environmental awareness. By way of example, a toilet compartment with a cream door and cream fixtures and fittings, would be equivalent to a sandstorm to a sighted person. Introducing different colours to enhance key features, such as a black toilet seat, a different coloured doorframe and door handle, contrasting wall tiles etc, will transform the room into a visually accessible environment.

Dash asks you to remember that:-

- tonal contrast is important e.g. between floor and wall, handles and doors, walls and ceilings, table and chairs.
- hue and tone and how colours relate is more important than brightly coloured schemes.

- good definition can be achieved using darker colours against lighter.

Colour contrast can significantly improve access within rooms, providing:-

- door handles, finger plates and frames are in a contrasting colour to the door
- skirtings give colour contrast or tonal contrast to the wall and floor
- furniture colour is different to that of the floor
- switches and controls significantly differ in colour from their background.

Eating and Drinking Areas

For many people, eating out forms part of their social, domestic or business life. It can also be essential for people who need to eat regularly. Naturally, every business offering a catering and hospitality service will want to do everything possible to ensure that all customers are welcome and able to enjoy comfortable surroundings. To ensure that all customers receive the same level of service, restaurants, bars and public houses are required to offer barrier-free environments, as well as to make adjustments to the way in which their services are delivered.

Layout

Certain types of establishment are more suitable for particular events, activities or clientele and their layout and facilities will vary widely. However, layout, facilities, and services should be designed in line with BS 8300 and should include:-

- generic menus which are in a large clear print, to allow people with visual impairments to make independent choice



Easy to reach, wheelchair accessible servery



A choice of seating height with and without armrests

- signage that welcomes people with Service Dogs, e.g. Enabling, Guide, or Hearing Dogs, etc.
- access to all facilities and services from all areas, with passing and manoeuvring space, as appropriate
- table seating that is not fixed to the floor, to allow wheelchair users access to the table
- provision of tables, which allow wheelchair users to comfortably reach their food, etc.

- self-service shelves between 800mm and 850mm, and any dispensing units required at a higher level, no greater than 850mm to 1000mm high, i.e. to enable easy reach of cutlery, plates and trays, etc

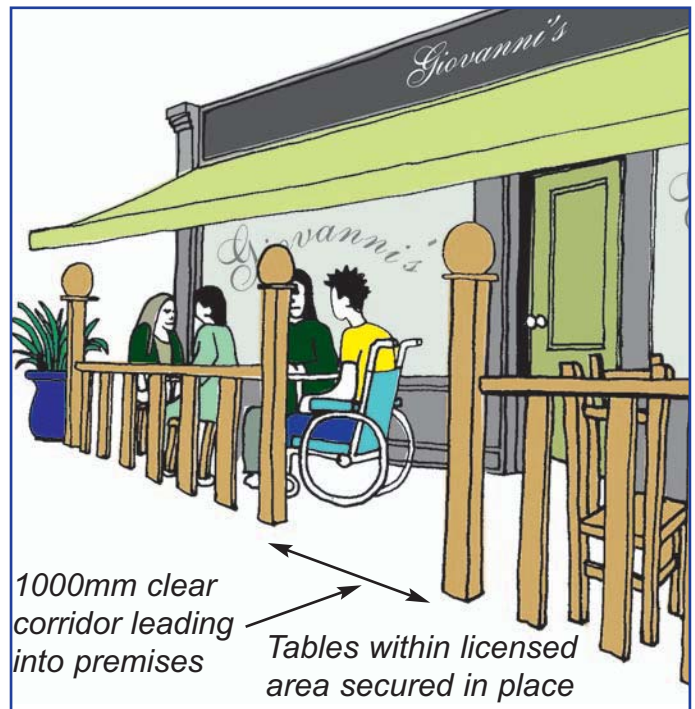


- a mix of round and square shaped tables with rounded edges
- service counters at a height between 750mm and 850mm from the finished floor, with knee recesses as necessary
- seating which accommodates a range of needs (i.e. chairs with and without arms and seating which is high and low)
- readily available and conveniently reached WC facilities.

Café Culture

To maximise pedestrian access and minimise the potential dangers which tables and chairs can bring to those with impaired vision or mobility, the council licences areas of the highway where outdoor seating is permitted under Section 115E of the Highways Act 1980. To have an application for outside tables and chairs, businesses must demonstrate:

- an ability to store all outdoor furniture within their premises after close of business to allow thorough street cleansing
- the ability to mark out the appropriate enclosure using features such as planters and/or fencing which can act as a tapping rail for white cane users, without compromising the aesthetics of the environment
- provision to ensure that all features used within the licensed area (with the exception of chairs) are fitted with fixing mechanisms to ensure they are secure and positioned in the same place each day



- a clear corridor between tables and chairs of 1000mm leading to the entrance door, to ensure unobstructed access into the premises for all customers
- an entrance door with a clear opening width of 830mm
- that seating can be provided whilst maintaining a minimum of 1.8m of adjacent pavement width
- that any litter bins provided, do not impede access.

Leisure and Entertainment

Harrow Council recognises that to create communities that are active and healthy, there needs to be a range of activities that allow people to relax, interact socially and enjoy organised recreation, or have contact with nature. Therefore Harrow Council will be paying particular attention to accessibility in relation to leisure and entertainment planning applications.

Recreational/entertainment facilities should:-

- be available for everyone who wishes to take part in any activity, to the extent they wish
- be readily available to disabled people without needing to provide advanced notice
- allow people not taking part in an activity, to be socially included.

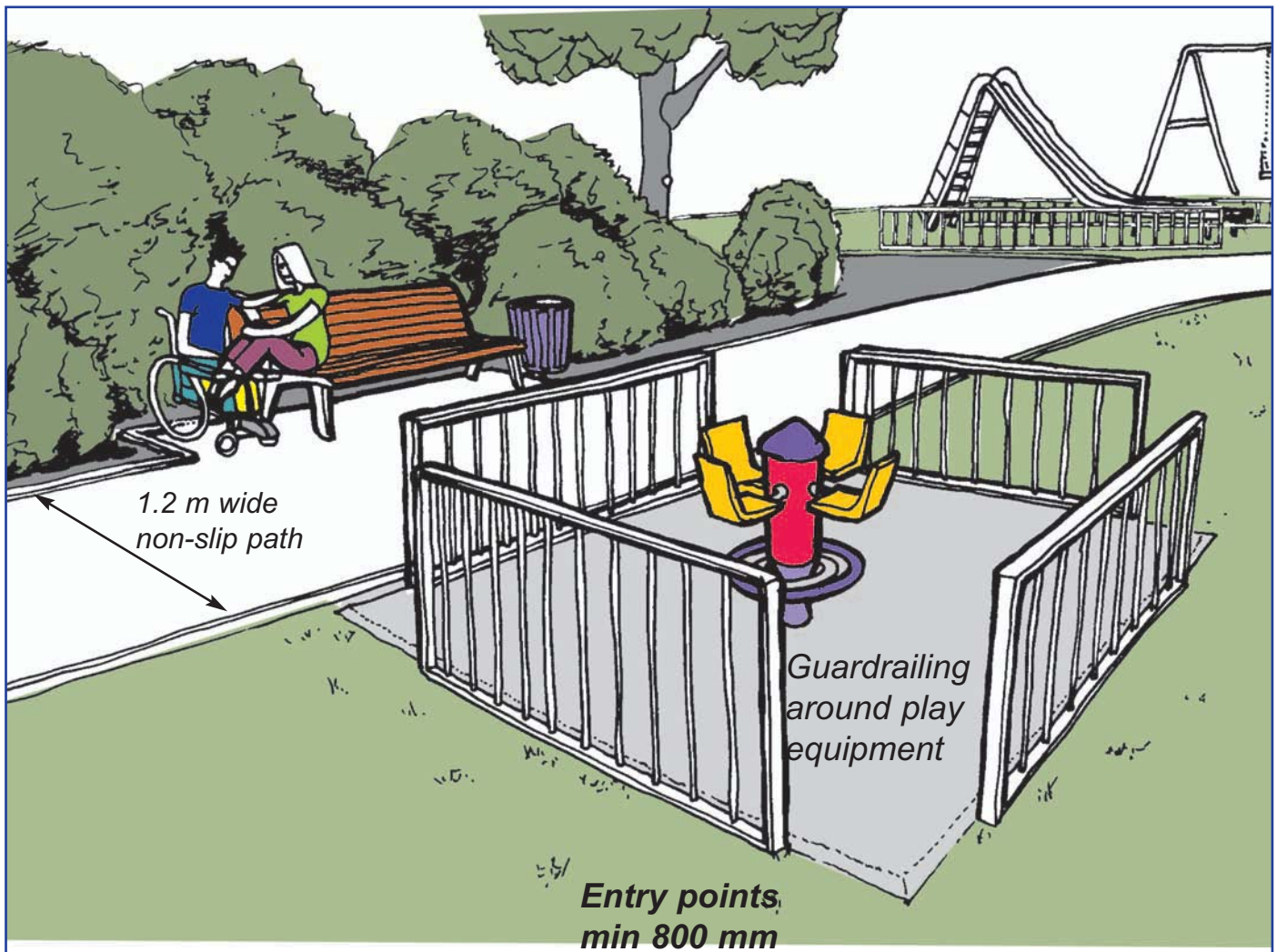
Parks and Open Spaces

Whilst it is important to maintain designed aesthetics, whether natural,

formal or rugged, sometimes compromises need to be made, to ensure that everyone is able to enjoy the views and all features of interest.

Each individual site and its features will need specific access considerations. Key access design principles could include:-

- hard surfaced and well defined tracks
- pathway surfaces that are stable and level whilst keeping any camber to a minimum
- paths 1.2m wide and non-slip, well lit and clearly defined using texture and visual contrasts
- vehicle access and on-site parking
- pedestrian entrances which permit easy movement for people with mobility impairments and which are physically separated from vehicles gaining access



- an indoor information centre or adequately sheltered information points
- fully accessible toilet facilities designed to BS 8300 (where provided)
- tactile and audible information boards
- landscape and vegetation carefully designed, positioned, and maintained to avoid injury to passing pedestrians (a thorny rose bush may not be easily detected by a blind person)

- appropriately designed accessible signage
- suitable playground area surfacing for easy wheelchair manoeuvrability
- shelter from (unexpected rainfall) that is of sufficient depth to allow use by those with mobility equipment, e.g. pushchairs, wheelchairs, and similar
- shelters that assist in reducing reflection glare when reading information boards in bright sunlight
- seating and resting facilities that are at intervals of approximately every 200m and which are inset from the path
- mobility aid access to viewing areas and features of interest, e.g. hides, viewing platforms and equipment
- seating areas incorporating an adjoining space for a wheelchair or pushchair to be positioned alongside the provided seating
- access to features of specific interest.

Playgrounds and Children's Play Areas

Whilst playgrounds and children's play areas may require additional security and safety provisions, they should nonetheless be designed to standards which allow use by children with disabilities, or by a wheelchair-using parent, supervising a child.

Similarly, play facilities should promote integration between disabled and non-disabled children by offering a variety of play opportunities using different materials and textures to provide a range of options for all children. Facilities should also be designed to allow parents with impairments to assist their children to enjoy the facilities.

There should be:-

- there should be provision made for people with mobility and sensory impairments, to make full use of security for restricted access features, eg a gate
- some soft play surfaces, whilst maintaining as much of the natural environment as possible

- separate areas for restful and energetic activities
- places for supervising adults to watch, sit or take part in activities
- a layout in all areas that is obstacle free and can allow a wheelchair and a pushchair to pass each other at the same time
- features allowing visually impaired children to obtain an equal degree of enjoyment
- provisions to allow all parents to interact with their children.
- appropriate guarding for swings, slides and merry-go-rounds to avoid potential injury to people with visual impairments
- features that allow easy, safe, flexible and convenient use by wheelchair-using adults assisting children



Accessible childrens playscheme

Keep Fit Areas and Gyms

Many people, including wheelchair users, can enjoy training and bodybuilding activities providing the equipment is carefully selected. Equipment must be easy to use and wherever possible be accessible from a wheelchair (without major adjustment) and safely operated by people with visual impairment.

Equipment provided should include at least one:-

- upper body multi-station, accessible to wheelchair users
- upper body ergometer, accessible to wheelchair users
- treadmill
- recumbent bike, accessible to wheelchair users
- leg-raise with cams
- leg-curl with cams.



Equipment should be:-

- laid out with adequate space for the fitness activity and for safe circulation between pieces of equipment.
- on the same level as the circulation areas unless there is suitable ramp provision.

Further information relating to access to other sports facilities, including sports halls, synthetic and hardsurface tennis courts etc, can be obtained from the Design Guidance Note “Access for Disabled People”, published by Sport England www.sportengland.org.uk.

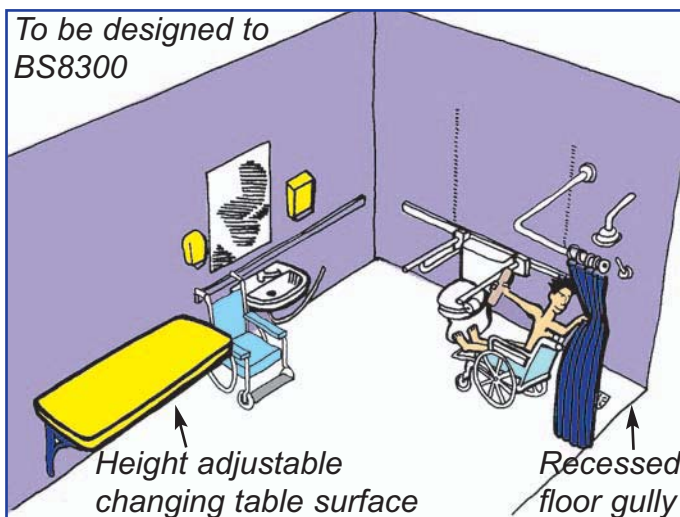


Paralympian, David Weir, demonstrates accessible fitness equipment at a Sport England training facility

Swimming Pools and Leisure Pools

Swimming is a social activity and has many proven health related benefits including stress reduction, calorie burning, alleviating pregnancy discomforts and gaining a sense of euphoric well-being. Buoyancy and the resistance properties of water provide an added benefit to people who need exercise without strain to joints, muscles and breathing.

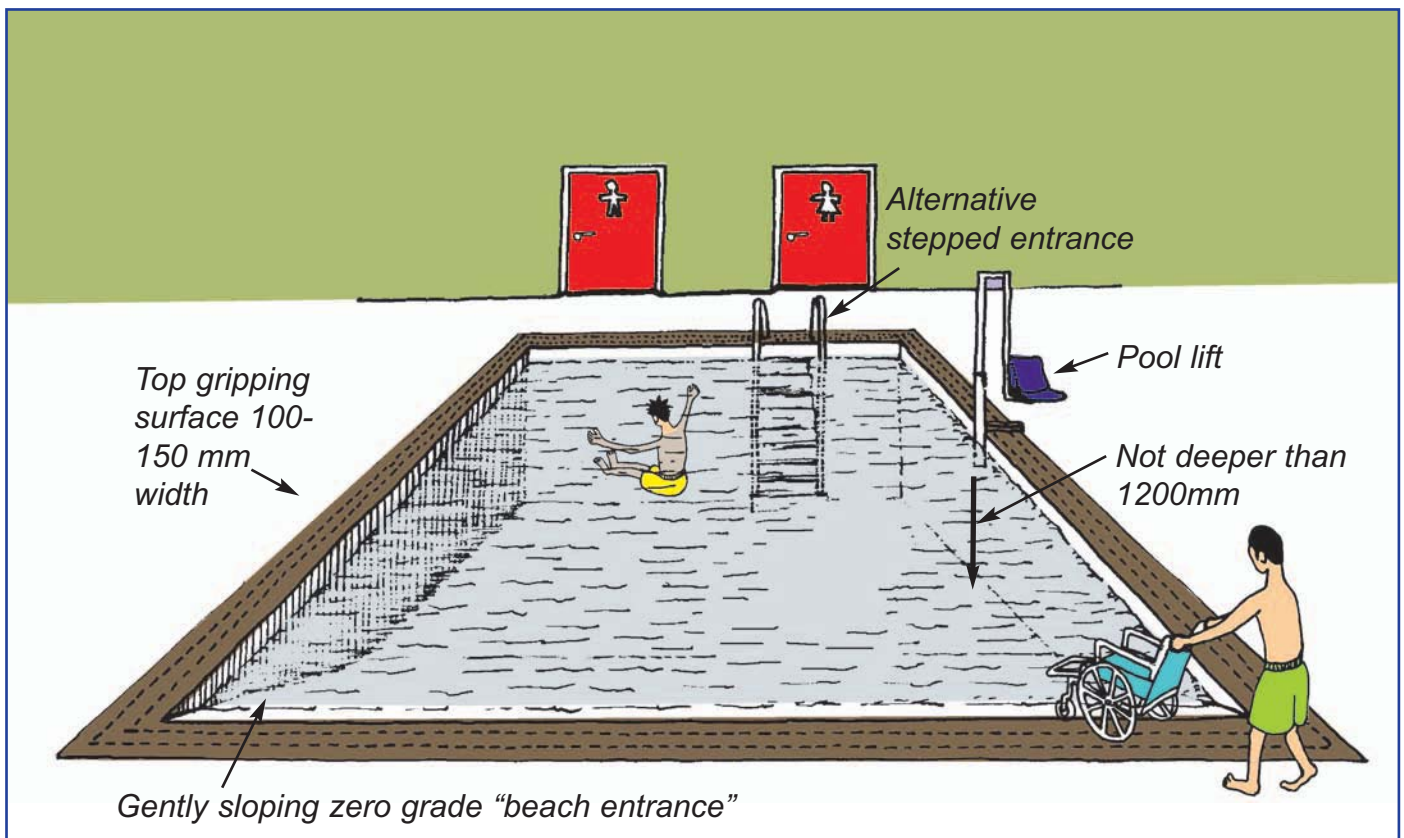
Facilities should therefore conform to the requirements of BS 8300 and should include:



Accessible Changing and Shower Room

- a route from the changing areas to the pool(s) which is continuous, unobstructed and slip resistant
- a privacy cubicle that is also accessible to disabled people either to use independently or with another person assisting
- pools which have a minimum of 2 accessible means of entry
- a means of pool entry which is provided either by access or provision of a pool lift designed to be operated by the user
- leisure pools where everyone gets in and out of the same areas and which are accessible to all, ie: zero grade beach entrance
- an aquatic wheelchair designed for use in the water where there is sloped access
- swimming pool ramps designed in accordance with the guidance given in Part M to the building regulations 2004

- transfer walls of suitable width and height provided as an intermediate surface and with a convenient recess to leave a wheelchair
- access to all facilities including locker and dressing rooms.
- grab bars which are perpendicular to the pool walls extending the width of the wall
- a top gripping surface of 100-150mm above the wall to allow for leverage and at sufficient height to allow clearance



Pool Lifts

Pool lifts should be: -

- not deeper than 1200mm at the deepest point as this allows someone providing assistance to stand up in the water
 - provided and positioned to give clear deck space to allow its user to easily transfer to the lift seat whilst also providing sufficient space for those assisting
 - provided with backrests and seating in a suitable material which reduces slipping
 - capable of supporting at least 135 kgs.
 - operable by one hand and should not require dextrous hand movements or excessive strength
- designed and placed for use without assistance, with dual controls for operation both within or outside the pool
 - designed so that the seat submerges to a minimum of 450mm below a still water level to help ensure buoyancy



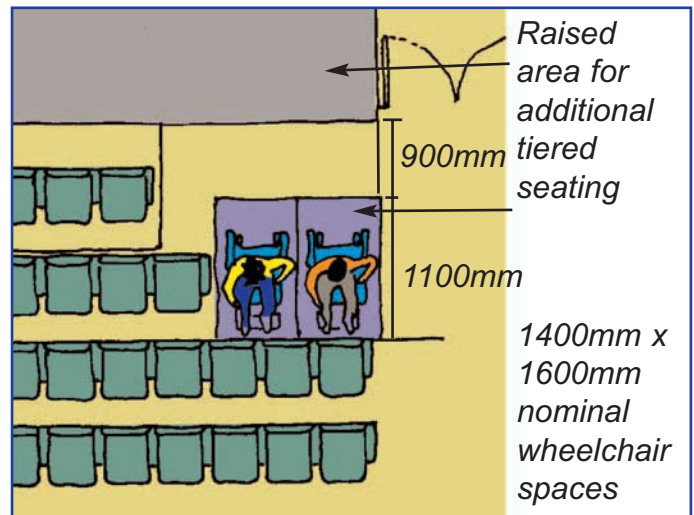
Pool-lift to facilitate safe and easy swimming pool access

Spectator Seating & Viewing

Spectator seating for structured recreation (e.g. sports stadiums, cinemas and theatres) should provide those people with physical and sensory impairments with a choice of position, integrated amongst the audience to prevent family or friends from being separated.

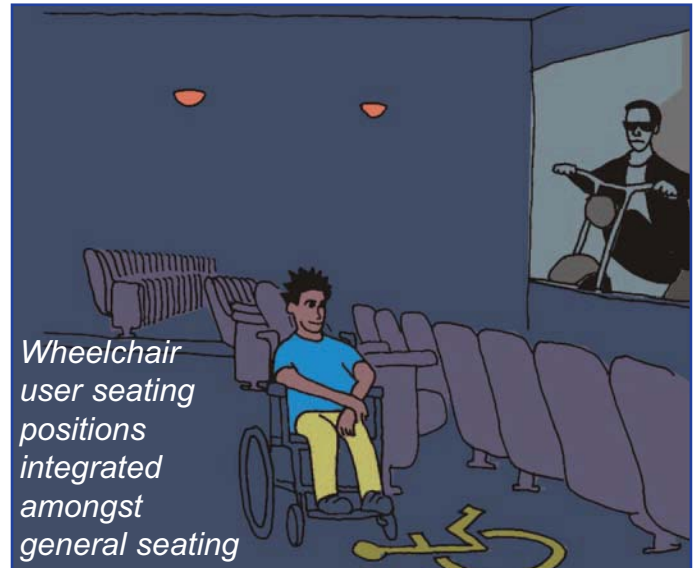
To be accessible, spectator seating should conform to BS 8300 and should:

- be flexible so that the area can be used by a non-transferring wheelchair user if necessary
- provide wheelchair users with clear, comfortable sight lines without visually obstructing the view of others
- provide one wheelchair space in every 50 provided seats and some areas where 2 wheelchair users can sit side by side
- incorporate seating of varying dimensions to accommodate a range of comfort and access needs
- allow people who experience seizures, to use an area of spacious seating that is designed as an integral part of the general layout
- be positioned to enable easy viewing of performances whilst allowing easy viewing of transcription, e.g. sign language interpreters
- include provisions for people with sensory impairments to enjoy spectator activities, e.g. assisted hearing/listening devices, audio and visual transcription
- be non-fixed, where appropriate, to increase choice and flexibility



- provide some wheelchair positions which are close to the doors to allow exit and entrance during performances without disturbance
- include seating areas that can also accommodate wheelchairs when allocated spaces are taken

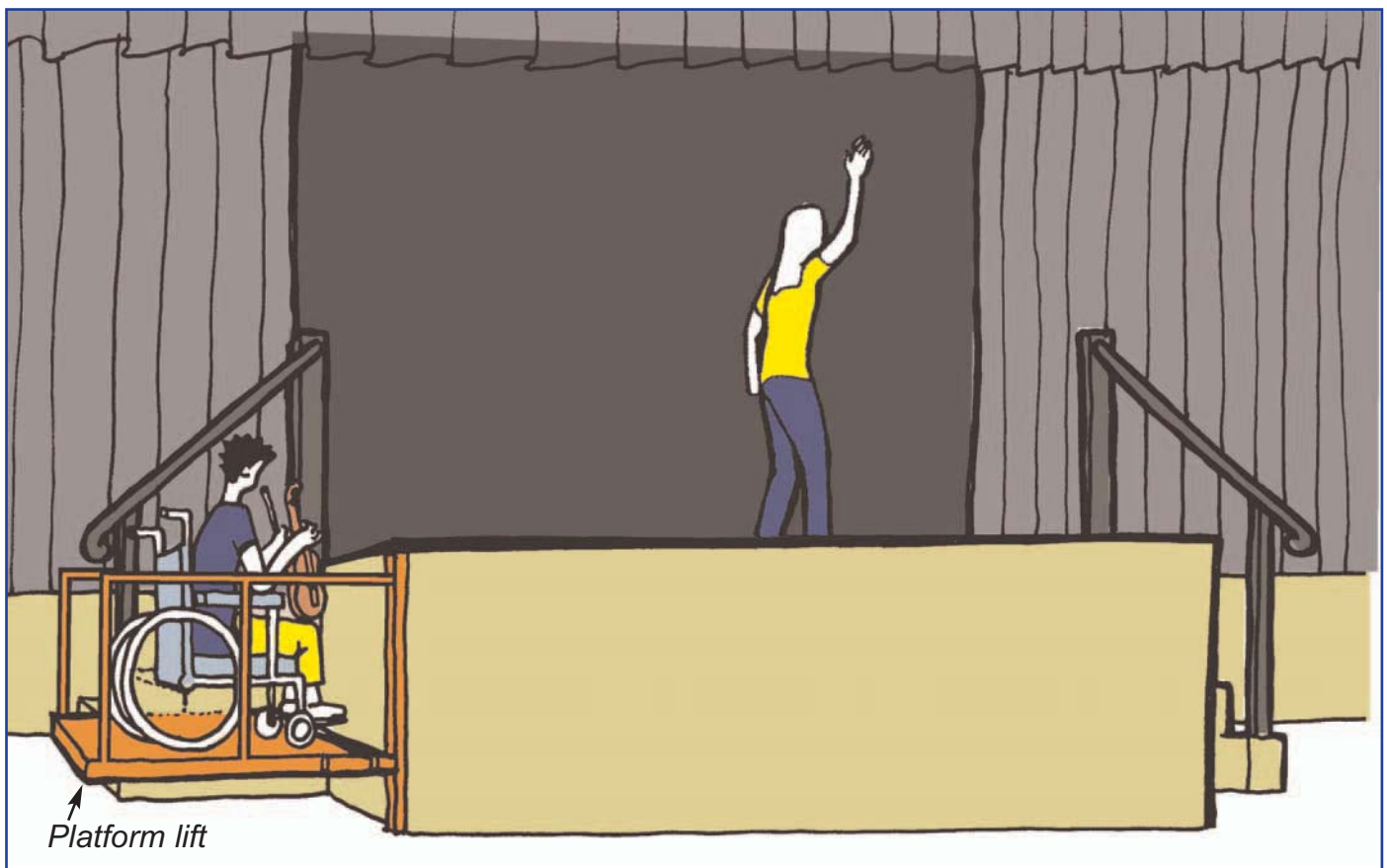
As some impairments are sensitive to flashing or flickering light, performances where this is likely to occur should provide audiences with prior warning.



Community Centres

Community centres such as dance halls, youth centres and scout huts are often a valuable resource to the local community. Their very nature attracts a diverse range of people and uses, and access for all must be thoroughly considered. In addition to the primary considerations, access provision should also be made available to:-

- raised speaking platforms and stage performance areas
- food preparation and serving areas
- changing and back stage environments
- public address systems which are interfaced to a Hearing Enhancement System.



Places of Worship

Whilst remaining sensitive to cultural differences and religious values, access needs to be seamlessly integrated without compromise to either individual access needs or religious beliefs and practices.

Religious establishments should conform to BS 8300 and should:-

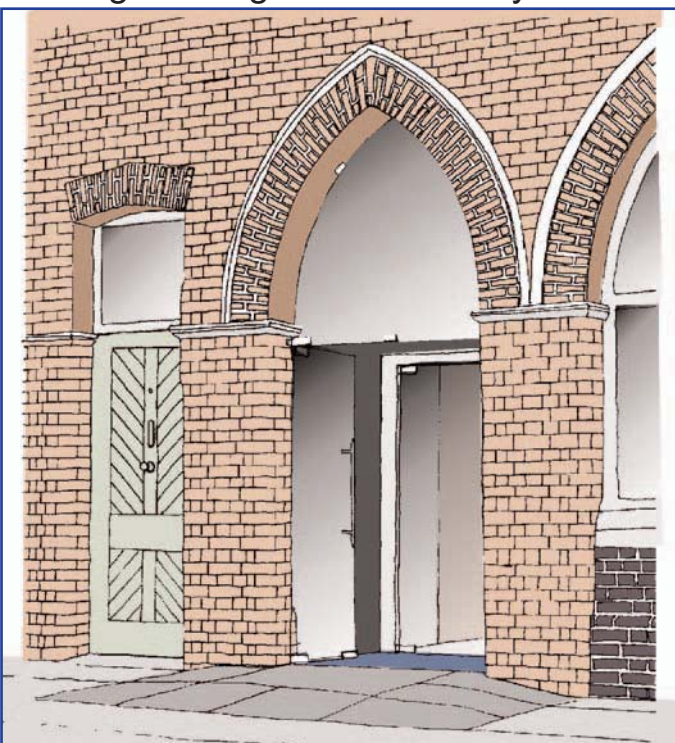
- keep some seats near the entrance reserved for people who cannot stand for extended periods or for those who may need to leave early
- provide seating of the non-fixed type
- have some seating available in areas where it is not normally provided
- provide cleansing for wheelchair wheels, where required
- provide waiting areas for assistance dogs to wait in comfort just outside the worship area if necessary
- allow participation at all levels ensuring all areas and facilities including altars, aisles, and choir galleries, are accessible
- where it is possible, have ambient temperature maintained at a comfortable level of 65°F
- provide assisted hearing systems (see section on Hearing Enhancement Systems).



Buildings of Special Architectural or Historic Interest

Everyone should be given an equal opportunity to enjoy, learn about and have access to their heritage. Creating access for wheelchair users into buildings of special interest often requires a greater degree of ingenuity and creative thinking to achieve an access solution that does not compromise the original beauty of the building. When creating access into existing buildings there is always a

degree of compromise to be made and special permission, e.g. listed building consent is likely to be needed. (Early consultation with the Conservation Section of the Planning Department is therefore advisable.) It has been proven time and again that with a dedicated approach and financial commitment, it is possible to unobtrusively achieve good access design for a special interest building.



Considerations for buildings of special interest should incorporate the requirements of BS 8300 and could include:-

- curved ramps or surface re-grading
- garden paths of hard paving or slabs for easy access to all parts of the grounds
- careful modification of significant features to incorporate access equipment which is hidden when not in use

- the use of high quality materials, sympathetic to the character of the building
- solutions that incorporate significant features, taking their cue from the architectural character of the existing building
- use of modern day technology, to transmit and present views of areas where creating access would destroy the aesthetics and character of an existing feature, e.g. narrow stair to views above
- careful use of colour contrasting and lighting to improve visibility for those with visual impairment
- door handles, not knobs for easier use by those with restricted hand strength or dexterity
- accessible toilet facilities
- hard surface flooring and low pile carpets internally
- physically accessible information, books and other written material, available in various formats.

Funding may be available to help with access alterations, e.g. Heritage Lottery Fund. Contact the Council's Conservation Section for further information.



St Anselms Church before access improvement work



St Anselms Church after access improvement work



New accessible features remain in keeping with existing church

Education and Learning Establishments



Learning is a fundamental part of everyone's life from nursery onwards, and access for all is a must. Students with mobility and sensory impairments have been legally empowered to learn in an environment that is barrier free and where discriminatory practices have been eliminated.

Education and learning establishments should follow guidance laid out in BS 8300 and should ensure that:-

- all learning areas include desks or work benches that are flexible or adjustable in height
- a building is designed to encourage equal opportunities for everyone, including access to areas, such as refreshment places, quiet study areas, recreational facilities and computer learning centres
- teaching areas have built-in flexibility which supports the integration of students with diverse needs, e.g. height adjustable cooking and washing up facilities, one handed computer keyboards, and equipment such as fans and heaters to assist students whose impairments are affected by changing temperatures
- buildings and facilities promote barrier-free circulation, using features such as open plan reception areas, automatic doors, etc
- equal access is provided to all public areas, social areas and learning activities, in order to allow students to participate inclusively
- all students are able to gain entry to all buildings through common entrances

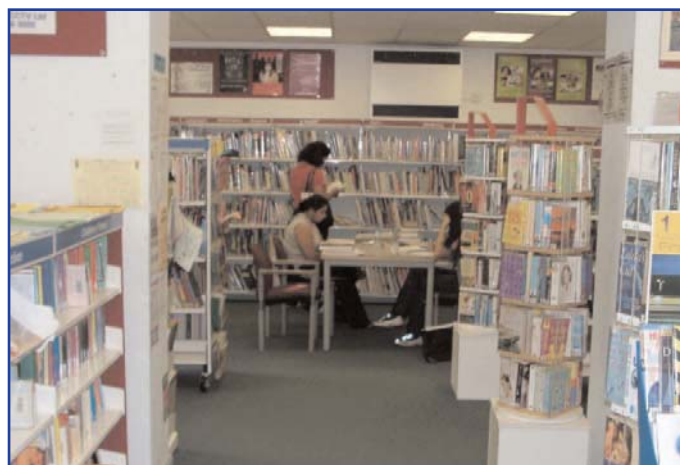
- study areas include soundproof places e.g. in the library, to allow people with visual impairment to be read to
- living accommodation is accessible for visits by students with disabilities and that a proportion of rooms are readily adaptable to suit individual needs.
- automated security barriers at entry and exit points that allow sufficient space (a clear opening width of at least 1200mm) for wheelchair users, guide dog owners and parents with young children to gain easy and independent access
- reading materials in alternative formats to allow independent learning by people with visual impairments, e.g. talking and large print books, close circuit screen readers, magnifying equipment, user controlled supplementary lighting, etc
- reading materials in other languages, also in accessible formats

Libraries



Libraries should be designed and equipped to allow all users to gain equal access to the entire range of services and should include:-

- suitably designed reception and check-out desks (see section on Reception areas)



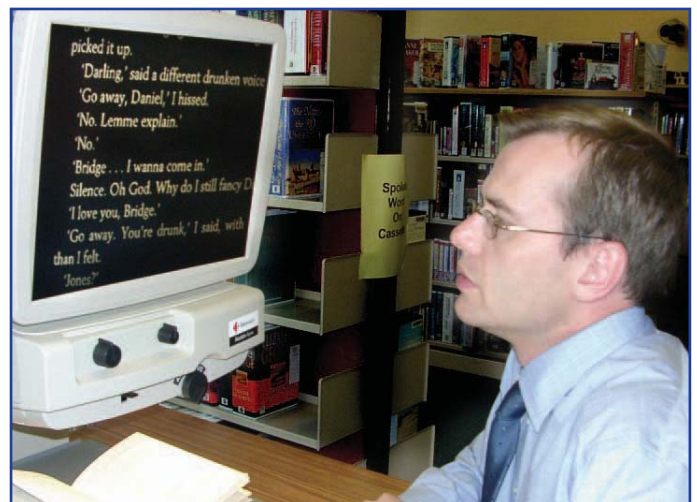


Lower shelving to minimise stretching

- shelving that has been carefully selected to ensure the design facilitates maximum independence e.g. book cases with shelving of equal depth, colour contrasting to define bookcase edging
- floor colour or tonal contrasts which distinguish reading areas from circulation routes
- a uniform approach to library layout in premises with more than one library, e.g. a university.



Easily identifiable parking space close to library entrance



Text enlarger to magnify small writing

Overnight Accommodation

Thought needs to be given to all aspects of every customer's needs, from entry to full access to all facilities, (including grounds) thereby providing the same amount of customer service to all. Simple modifications and a little thoughtfulness can generally provide any necessary solutions to allow personal independence for a disabled person. As disabled people are often reliant on attention to detail, small things can help make a disabled person's stay a manageable and pleasurable experience. Accommodation establishments should follow guidance laid out in BS 8300 and should include:-

- accessible parking
- reception areas accessible to all customers
- fully accessible toilet facilities
- access to all public facilities, e.g. restaurant, bar, beauty salon, library, leisure/games room, lounge, reception, etc



Accessible route from car park, using carefully selected 'wheelchair friendly' paving

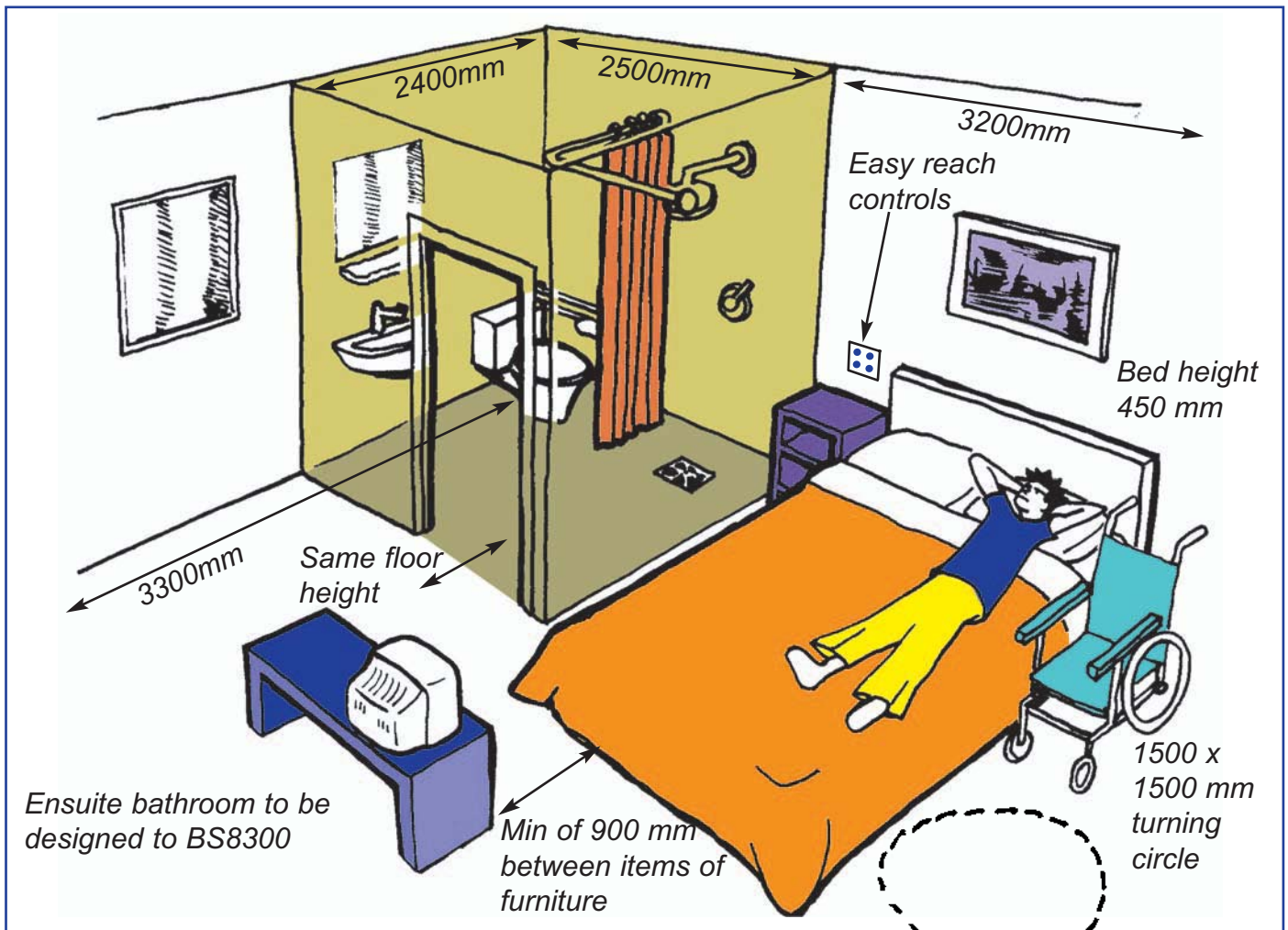
Bedrooms

Provision should be made for:-

- all bedrooms to have a minimum door width of 750mm and space to manoeuvre a wheelchair within the room
- door locks and handles that are easy to operate by people with reduced grip or dexterity



Wheelchair accessible bedroom



- a minimum quota of 1 in 20 bedrooms fully equipped for use by wheelchair users, with at least one twin, double, single, or family room per establishment
- wardrobes and drawers at an easily reachable level
- level entry to an en-suite bathroom
- a bed that is firm enough to give support during transfer and at a height to allow it (450mm)
- desks and tables that give room for foot-rest and knees

- level access to any balcony or terrace
- reachable and easily operated lighting and temperature, TV, radio and curtain closing controls
- a room telephone, operable by anyone with a hearing impairment
- a TV capable of receiving subtitles or for use with a listening device
- access to room service, e.g. ironing, washing, refreshments
- flooring that allows a wheelchair user to move about, e.g. low pile carpet
- at least two mains electrical sockets in close proximity to the bed to allow use of equipment such as wheelchair battery charger, portable hoist, ventilator or communication device.
- shower facilities that can be accessed by people using portable shower chairs
- lever tap controls
- sufficient space for inward opening doors to close behind a wheelchair (thought could be given to sliding or outward opening doors instead)
- a layout that allows for lateral transfer to the WC or bath
- adjustable height washbasin, positioned to allow a wheelchair to approach and be close
- full length mirrors to suit different height users
- provision for rails and a platform at the head of the bath to facilitate movement in and out of the bath.

Bathrooms

Facilities within fully accessible rooms should be designed to meet BS 8300 and should include:-

- rail supports



Accessible ensuite bathroom with 'wet floor' shower facility

Emergency Provisions & Means of Escape

Designers, developers and building operators are required to seamlessly integrate accessibility into a single, effective, and manageable building emergency escape plan. This ensures that people unable to use stairs, can be confident of escape, even during an intense emergency situation.

Providing Accessible Alert & Escape

Providing a safe means of escape for people with mobility or sensory impairments will vary according to the type of building and the purpose for which it is used.

Emergency provisions should be in line with BS 5588 and should include:-

- reliable, flexible, and comprehensive systems, e.g. a vibrating and message paging system
- escape routes that allow everyone to follow the same escape route to reach a refuge area.

Refuge Areas

Refuges are fire-protected areas where anyone unable to escape from a building using the stairs, can wait in safety, ie: away from smoke. In buildings of two or more storeys, the council may require provision of at least one suitably designed refuge. Refuges should:-

- be designed to BS 5588
- be at opposite ends of the building, with two provided on each floor when the distance to the refuge exceeds 50 metres
- be large enough to take one or more wheelchair users, whilst allowing those using stairs to easily pass
- contain at least one evacuation chair
- contain a fire protected lift (designed to BS 5588) that can be used during a fire



- have clear signage that indicates their exact location
- display notices that provide clear and reassuring instructions to explain the purpose of the area, the relevant emergency procedures and protocol
- be fitted with 2-way communication devices that are suitable for those with hearing, visual and speech impairments, eg a series of pre recorded requests of assistance messaging.

Evacuation by Stairs

Evacuation chairs and similar manual methods of evacuating disabled people should be used as a last resort.

Procedures and Training

To meet the needs of people unable to use stairs, good building management requires that Generic Emergency Evacuation Plans be devised. For those using a building on a regular basis, e.g. staff members, personal emergency evacuation plans (PEEPs) need to be tailored to an individual person. They should also include, elderly people, expectant mothers, parents with young children, and disabled people. Whilst these plans should follow the BS 5588-8:1999 guidelines, they should also include procedures that ensure:-

- a means for recording who is in the building, whilst noting any specific emergency egress requirements.
- that a person is nominated, to be responsible for actioning evacuation procedures
- building management and front-line staff receive regular refresher sessions of all emergency arrangements

- building users are familiar with evacuation procedures
- wardens and those responsible for evacuation, receive training in disability awareness and in providing assistance to people with mobility or sensory impairments.
- personnel with responsibility for assisting during an evacuation, are fully trained, should the need arise for manual methods of evacuation

Evacuation Responsibility

It must be remembered that the responsibility for building evacuation ultimately rests with the operational management of the building. The Fire Brigade will not accept responsibility for routine escape arrangements and will expect to arrive at a building that has been evacuated.

Communicating & Accessing Services

Ensuring high standards of physical access into a building is the first step to promoting 'Access for All.' However, delivery of quality services is just as important.

Some people have impairments that are obvious, e.g. those using a wheelchair. However, providing access extends beyond the requirements of wheelchair users and should include (for example) considering the needs of people with:-

- epilepsy
- visual impairment
- impairments affecting balance and/or co-ordination
- heart conditions
- speech impairment
- learning disabilities
- hearing impairment
- restricted breathing.



Disability awareness training is an effective way of achieving increased knowledge of peoples' differing needs and should be incorporated into general customer care training or specific continued professional development.

Talking with Customers

Every customer is different and has their own individual communication requirements. Providers of services should actively demonstrate helpfulness and courtesy.

Sometimes people who are unfamiliar with disability find it difficult when speaking with a disabled person and may become embarrassed, perhaps pretending that they have not seen or heard them. Others may stare through curiosity or fear, forgetting their customer service role, whilst making assumptions about a disabled person's communication or intellectual ability. There is often uncertainty around offering help to disabled people as there is concern that it may offend. It is perfectly reasonable to offer a disabled person assistance, particularly if you feel there is a degree of struggle. However, you should never assume that your help will be needed and you should always be prepared for your offer to be declined. Despite every good intention, never give help without seeking permission first, as this is likely to offend.

The best way of reacting is to remember to treat all customers equally, using terminology that will create the right atmosphere of acceptance. It is important not to make disabled people feel they are being treated differently or 'spoken down to'.

Tips for Communicating

When communicating with customers it is important to;

- make eye contact
- shake hands
- smile and be welcoming
- stand or sit facing the customer
- smile with your voice
- speak clearly with an even rhythm of speech
- face your customers to allow for lip reading
- use gestures which complement the conversation
- re-phrase what you have said if you have not been understood
- be patient, particularly where there is difficulty in explaining - check for understanding

- use everyday humour and avoid stale clichés, e.g. 'Have you got a licence for that wheelchair?'
- write things down if it will help clarify
- speak directly to the customer and not through their companion, spouse, assistant, or interpreter, e.g. 'Would she like some sugar?'
- speak to adults in an adult manner
- use language that is positive. Avoid collective nouns e.g. "the disabled" or language which is negative (e.g. "the mentally handicapped"), better phrases are 'disabled people' and 'people with learning disabilities'
- respect individual personal space, e.g. a wheelchair is an extension of its user and should not be leant upon without permission
- respect that guide dogs and other assistance dogs are not pets, whilst they are working, and should not be distracted from duty
- be relaxed and take time to listen
- ensure that people who are affected by seizures are made welcome - ensure knowledge of what help can be offered during and after a seizure
- use normal language - a speech impairment or stammer does not infer low intelligence
- sit or crouch down when talking to a wheelchair user, to ensure level eye contact.

Product or Service Information

When producing written material for customers, a single, accessible product that can be easily understood by all, is the most viable and cost effective option and ensures that service providers adhere to the most recent DDA legislation.

Written information should be:-

- clear and concise
- complemented by symbols, wherever possible
- available electronically
- produced in one format, suitable for use by everyone
- a minimum of point 12 sized font on a contrasting background.

Ways of Communicating

Customers who need assistance with communication, should be offered the opportunity to communicate with the same degree of spontaneity as non-disabled people.

Some of the ways in which assistance may be offered are:-

Video Linked Lip Speaking and Signing

These 'dial-in' services are available to subscribing organisations, for situations where talking to customers face to face, (e.g. interviews or meetings) is required. The equipment should be positioned to allow all involved to maintain both a natural seating position and confidentiality.

Hearing Enhancement Systems

Assisted hearing devices such as induction loops or infra-red systems, can help in eliminating background noise, enabling hearing aid users to link directly with the sound source, e.g. a film at the cinema or the microphone of a speaker.

Text Phone & Typetalk Services

Organisations should consider purchasing a text phone device for people with speech or hearing impairments. This allows customers to make contact, still using the telephone, but typing their conversation instead of speaking.

For smaller organisations a subscription to the RNID Typetalk service should be considered. Using this service, only the person with the communication impairment is required to have a text phone. The Typetalk operator will read to the hearing person what has been typed. The hearing person will then reply

by speaking to the operator, who will relay the conversation back to the person with the hearing impairment by using a text phone keyboard.

Public Telephones

If a public telephone is provided in the building, it should be positioned in accordance with guidance in BS 8300.



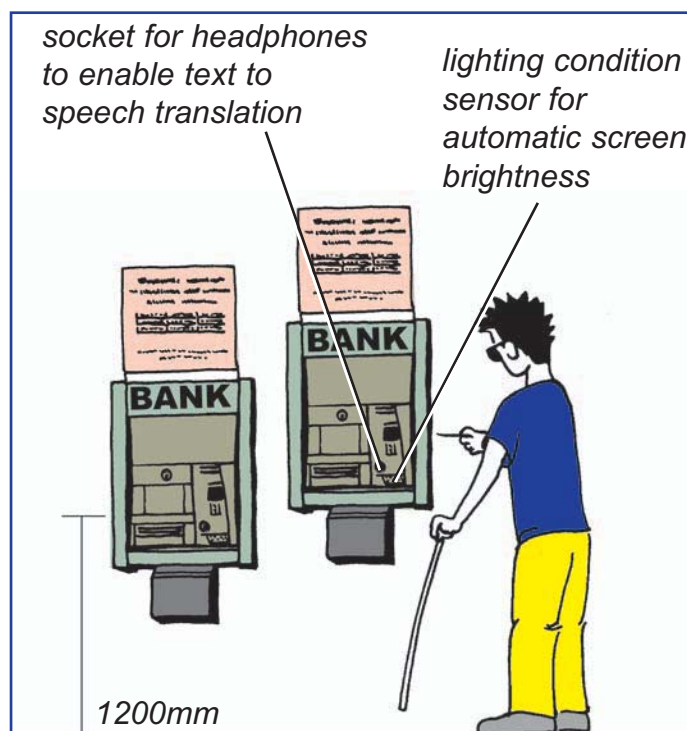
Cashpoint Machines

As new technologies continue to emerge, providers who install and maintain these facilities should ensure that they are suitable and accessible to everyone.

Cashpoints should be designed in accordance with BS 8300 and should:-

- have an area immediately in front of the machine which is level, clear of obstacles and well illuminated
- be easily reachable by means of a door security system which does not require fine manual dexterity, particularly if located in an internal lobby at night
- have screen illumination that is adjusted automatically according to surrounding light conditions
- have controls and card slots at a height of 1200mm.
- have at least one cashpoint machine per facility, at a height suitable for wheelchair users

- incorporate technology which allows for people with sight impairments to hear on-screen instructions confidentially through an earpiece device.



Electronic Information Points

Electronic Information Points, such as those available in the high street,

shopping centres, and other public arena, should be fully accessible to all disabled people.

To ensure accessibility, information points should:-

- display text and graphics on a starkly contrasting background
- provide physical access, allowing wheelchair users to approach and easily reach keyboards, touch screens and payment slots, from both front facing and side approach angles
- provide low level computer terminals (between 750mm -800mm high)
- provide seating, which is adjustable in height by the user.

Accessible Information

Producing information electronically ensures that information can be tailor-made to suit the favoured format of the reader, thereby promoting equality and increased independence for many people. Examples of how electronic information can be used are:-

- text to voice readers - these read aloud what is written on a computer screen
- text manipulation - this can be used to alter the size of text
- screen magnification - this can enlarge text, diagrams, pictures, graphs, etc
- print - with specifically chosen colour-contrasts, or braille embossing

Accessing the Internet

Technology now exists, which can assist visually impaired, and blind people to use the Internet. Where a computer or Internet service is provided, at least one, or one in every twenty terminals, should be fully accessible and incorporate:-

- height adjustable desk and seating
- synthesised text-to-speech screen readers
- braille printing
- screen magnification
- colour printing.

Accessible Websites

Accessible websites are not only quicker to access, but also help service providers towards achieving their “duty to eliminate discrimination”. Websites should be designed in line with the Web Content Accessibility Guidelines, produced by the World Wide Web Consortium. The guidelines explain how to design and produce a single website that promotes ease of use by everyone, without the need for a separate text-only alternative.

- use of British Sign Language, where a website voice-over requires translation
- providing clear information in both text and pictorial formats

Further information can be obtained by visiting www.w3.org/WAI

Methods for providing accessible websites include:-

- providing a text to speaking voice feature for people who cannot see or read a screen
- ensuring content is checked for compatibility with well known computer software screen-readers

Statutory and Policy Context

Access for All has been produced as a Supplementary Planning Document [SPD]. It has been informed by community involvement and is accompanied by a Sustainability Appraisal [SA], which also provides the necessary background regarding the social, environmental and economic considerations which have been applied throughout the production of this document. It is in line with Harrow's vision to create a borough that is fully accessible by sustainable means, in terms of both the built environment and local service provision. This document has been written to reflect and supplement Policies D4, C16 and C17, and will also contribute towards the implementation of policies SR2, SC1, EP47, D25, C7, and C9, of Harrow's Unitary Development Plan (HUDP), formally adopted on 30th July 2004.

Access for All was the subject of a 6-week public consultation programme and was formally adopted by Harrow Council on the 14th of March 2006 to form part of the Local Development Framework (which will eventually replace the Harrow Unitary Development Plan). Its guidance will be taken into account as a material consideration, when determining the outcome of Planning Applications.

Planning applicants should also refer to the Greater London Authority's Supplementary Planning Guidance 'Accessible London: Achieving an Inclusive Environment', published in April 2004.

Sources and References

- British Standard BS 8300: 'Design of buildings and their approaches to meet the needs of disabled people', BSI 2001
- Planning and Access for Disabled People: 'A Good Practice Guide', ODPM: March 2003
- 'Designing For Accessibility' Supplementary Planning Guidance, London Borough of Croydon: March 2000
- Building Regulations 2000 - Part M: 'Access to and Use of Buildings', ODPM: May 2004 Edition
- 'Sign Design Guide', JMU Access Partnership and Sign Design Society: 2001
- Planning Policy Guidance Note 17: 'Planning for Open Space, Sport and Recreation', Department of the Environment, Transport and the Regions: 2002
- 'Access for Disabled People', Sport England: 2002
- 'Easy Access to Historic Properties', English Heritage: 1995
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- The Mayor of London's, 'London Plan: Spatial Development Strategy for Greater London': Greater London Authority: February 2004
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- 'Designing an Accessible City': Corporation of London: 1998
- 'Designing for the Disabled' by Selwyn Goldsmith: October 1967, RIBA Publications, ISBN: 0900630272
- 'A Good Practice Guide to Disabled People's Access in the Countryside', BT Countryside For All Standards and Guidelines
- 'Developing Accessible Play Space', Office of the Deputy Prime Minister: 2003, Product code 03UPU01737
- 'Access and Inclusion': A Management Guide published by Croner





Dash says: "There's a lot to digest, but I hope I've been able to help simplify things a little"



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ACCESS FOR ALL
Supplementary Planning Document

SUSTAINABILITY
APPRAISAL REPORT

March 2006

Please call the number below for a large print version of this document, or a summary of this document in your language.

- Albanian** Nëqoftëse gjuha Angleze nuk është ghuha juaj e parë, dhe keni nevojë për përkthimin e informatave të përmbajtura në këtë dokumentë, ju lutemi kontaktoni numërin dhënë.
- Arabic** اذا كانت الانجليزية ليست لغتك الاولى وتحتاج لترجمة معلومات هذه الوثيقة، الرجاء الاتصال على رقم
- Bengali** যদি ইংরেজি আপনার মাতৃভাষা না হয় এবং আপনি যদি এই প্রচারপত্রের তথ্যগুলোর অনুবাদ পেতে চান তাহলে যে টেলিফোন নম্বর দেওয়া আছে সেখানে দয়া করে যোগাযোগ করুন।
- Chinese** 如果你主要說用的語言不是英語而需要將這份文件的內容翻譯成中文，請打註明的電話號碼提出這個要求。
- Farsi** اگر انگلیسی زبان اول شما نیست و شما نیاز به ترجمه اطلاعات موجود در این مدرک را دارید، لطفاً با شماره داده شده تماس بگیرید
- Gujarati** જો ઈંગ્લિશ તમારી પ્રથમ ભાષા ન હોય અને આ દસ્તાવેજમાં રહેલ માહિતીનો તરજૂમો (ટ્રાન્સલેશન) તમને જોઈતો હોય તો કૃપા કરી જણાવેલ નંબર ઉપર ફોન કરો
- Hindi** यदि आपको अंग्रेज़ी समझ नहीं आती और आपको इस दस्तावेज़ में दी गई जानकारी का अनुवाद हिन्दी में चाहिए तो कृपया दिए गए नंबर पर फोन करें।
- Panjabi** ਜੇ ਤੁਹਾਨੂੰ ਅੰਗਰੇਜ਼ੀ ਸਮਝ ਨਹੀਂ ਆਉਂਦੀ ਤੇ ਤੁਹਾਨੂੰ ਇਸ ਦਸਤਾਵੇਜ਼ ਵਿਚ ਦਿੱਤੀ ਗਈ ਜਾਣਕਾਰੀ ਦਾ ਤਰਜਮਾ ਪੰਜਾਬੀ ਵਿਚ ਚਾਹੀਦਾ ਹੈ ਤਾਂ ਕਿਰਪਾ ਕਰਕੇ ਦਿੱਤੇ ਗਏ ਨੰਬਰ ਤੇ ਫੋਨ ਕਰੋ।
- Somali** Haddii Ingiriisku uusan ahayn afkaaga koowaad aadna u baahan tahay turjumidda xog ku jirta dokumentigan fadlan la xiriir lambarka lagu siiyey.
- Tamil** ஆங்கிலம் உங்கள் தாய்மொழியாக இல்லாதிருந்து இப்பத்திரத்திலிருக்கும் தகவலின் மொழிபெயர்ப்பு உங்களுக்கு தேவைப்பட்டால் தயவுசெய்து தரப்பட்ட தொலைபேசி எண்ணில் தொடர்பு கொள்ளவும்.
- Urdu** اگر انگریزی آپ کی مادری زبان نہیں ہے اور آپ کو اس دستاویز میں دی گئی معلومات کا اردو ترجمہ درکار ہے، تو براہ کرم دئیے گئے نمبر پر رابطہ کریں۔

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Sustainability Appraisal Background and Purpose

1. Introduction

1.1 The Main Principles of the Local Development Framework and Legislative Background

The Local Development Scheme (LDS), brought into effect in June 2005, outlines the programme for preparing and reviewing Local Development Documents. The LDS includes the timetable for the production of this Access for All Supplementary Planning Document (SPD). SPDs provide additional guidance expanding upon policies in the Harrow Unitary Development Plan (HUDP).

2. Policy Context

2.1 The Access for All SPD is supplementary to the Harrow Unitary Development Plan (HUDP) and will form part of the Local Development Framework (LDF). It has been produced in line with Harrow's vision as contained in the HUDP under Section 2.17, to provide "A Borough that contains a range of local community, educational, social and health facilities which are more easily accessible by sustainable means" and to "provide good access to facilities and services for all". The Access for All SPD amplifies policies D4, C16 and C17. It will also contribute towards the implementation of policies SR2, SC1, EP47, D25, C7, and C9 (policies which can be referred to in Appendix 4).

2.2 Some of the most relevant documents reviewed for the production of the 'Access for All' SPD and this Sustainability Appraisal (SA) Report are listed below:

1. The Strategic Environmental Assessment Directive: Guidance for Planning Authorities. ODPM, London, October 2003
2. Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Consultation Paper, ODPM, September 2004
3. Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Interim Advise Note on Frequently Asked Questions, ODPM, London, April 2005
4. The Disability Discrimination Act (DDA) 1995
5. Planning and Access for Disabled People: A Good Practice Guide from the Office of the Deputy Prime Minister
6. Part M to the Building Regulations: May 2004
7. British Standard 8300; 2001- Code of Practice
8. The London Plan (Spatial Development Strategy for Greater London), Mayor of London, February 2004.

3. Strategic Environmental Assessment (SEA) & Sustainability Appraisal (SA)

3.1 All Development Plan Documents (DPDs)¹ and SPDs will need to undergo Sustainability Appraisal (SA) as required under section 5 of the Planning and Compulsory Purchase Act 2004. SA is a systematic process carried out during plan production; its purpose is to assess the

¹ Paragraph 4.3 defines what a Development Plan Document (DPD) is

extent to which emerging policies, proposals and supplementary information will help to achieve relevant environmental, social and economic objectives, i.e. sustainable development.

3.2 The European Directive 2001/42/EC requires an 'environmental assessment report' of plans and programmes prepared by public authorities that are likely to have a significant effect upon the environment. This process is referred to commonly as 'strategic environmental assessment' (SEA).

3.3 An Environmental assessment report has to be included as part of this SA report (Appendix 3), under the Strategic Environmental Directive (2001/42 EC), and this has been achieved by combining the two document requirements, in accordance with Annexe 7 of the ODPM guidance as the SEA guidance requirements have been incorporated into the Draft SA guidance². This SA Report therefore uses an approach that addresses the requirements of SEA and SA simultaneously, by giving full consideration to environmental issues in compliance with SEA, whilst also addressing the spectrum of socio-economic concerns as required by SA.

4. Reason for the Production of the Access for All SPD and Plan Options

4.1 Following the introduction of the Planning and Compulsory Purchase Act 2004 and the publication of a variety of detailed access documents, a new and more comprehensive SPD was required. The Access for All SPD will replace the outdated Supplementary Planning Guidance (SPG), which was formally adopted by the Council in 1994. Given the speedy change in guidance and new planning process and practice, there was little dissent within the Planning policy team for the need to replace the dated 1994 SPG and the need to complete the preparation of the new SPD. This Access for All SPD has been produced under the provisions of the Planning and Compulsory Purchase Act 2004, and regulations.

4.2 Work on the Access for All SPD started prior to the new planning system coming into force and it was originally intended to be adopted as an SPG. The former draft SPG was developed to become an SPD to give it more weight under the new planning system. This will ensure that the Access for All SPD can be implemented beyond the three year period, in which any HUDP policies and SPGs can be saved.

4.3 Due to the fact that the Access for All SPD expands on existing saved policies of the HUDP and does not introduce new options or policies, the guidance has been brought out as an SPD as opposed to new policy which would have required the document to be produced as a DPD. It was considered a sensible option to progress the document as an SPD since its production had already commenced prior to the LDF system coming into force.

5. The Purposes the Access for All SPD will serve

5.1 A key objective of the Access for All SPD is to demonstrate the links between the Council's planning process, government planning policy and guidance and service provider obligations under the Disability Discrimination Act (DDA) 1995. The Access for All SPD aims to broaden the scope of good design by positively encouraging partnership working between the Council, professionals involved in the development process and the diverse range of local businesses and industry, in order to create local environments that are logical in layout, safe and easy to navigate. The Access for All SPD supports the fundamental principles of sustainable design. The guidance and requirements throughout the Access for All SPD actively promote the concept of 'inclusivity', to ensure access considerations form part of a development's overall design and not merely as bolt-on accessories.

² Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Consultation Paper, ODPM, September 2004

5.2 The Access for All SPD presents requirements for design solutions that are far reaching and which complement current legislation in relation to the advice most frequently sought from the Council. The Access for All SPD will serve as a definitive guide. However, it is not intended that the Access for All SPD will deliver comprehensive solutions for every type of building or service. Instead, its aim is to provide insight into a range of access issues, furnish its readers with transferable understanding of inclusive design principles and delivery of equitable services, whilst demonstrating that a good environment for disabled people is a great place for everyone. It is anticipated that the presentation of various scenarios within the Access for All SPD, in the context of everyday community life, will in turn perpetuate improved understanding and acceptance of people's differing needs.

5.3 It is intended that the Access for All SPD will counteract the negative attitudes commonly held against disability and will demonstrate to local people the Council's firm commitment to providing access for everyone who lives, works, and participates in Harrow life.

5.4 The success of this SPD is dependent on developers, partners and service providers to implement its principles. Jacqueline Lockyer, a National Register of Access Consultants (NRAC) accredited consultant was commissioned by Harrow Council to assess the Access for All SPD in terms of its accessibility and the correctness of the technical guidance provided to ensure the Access for All SPD is user friendly.

5.5 An Overall Summary of the Access for All SPD

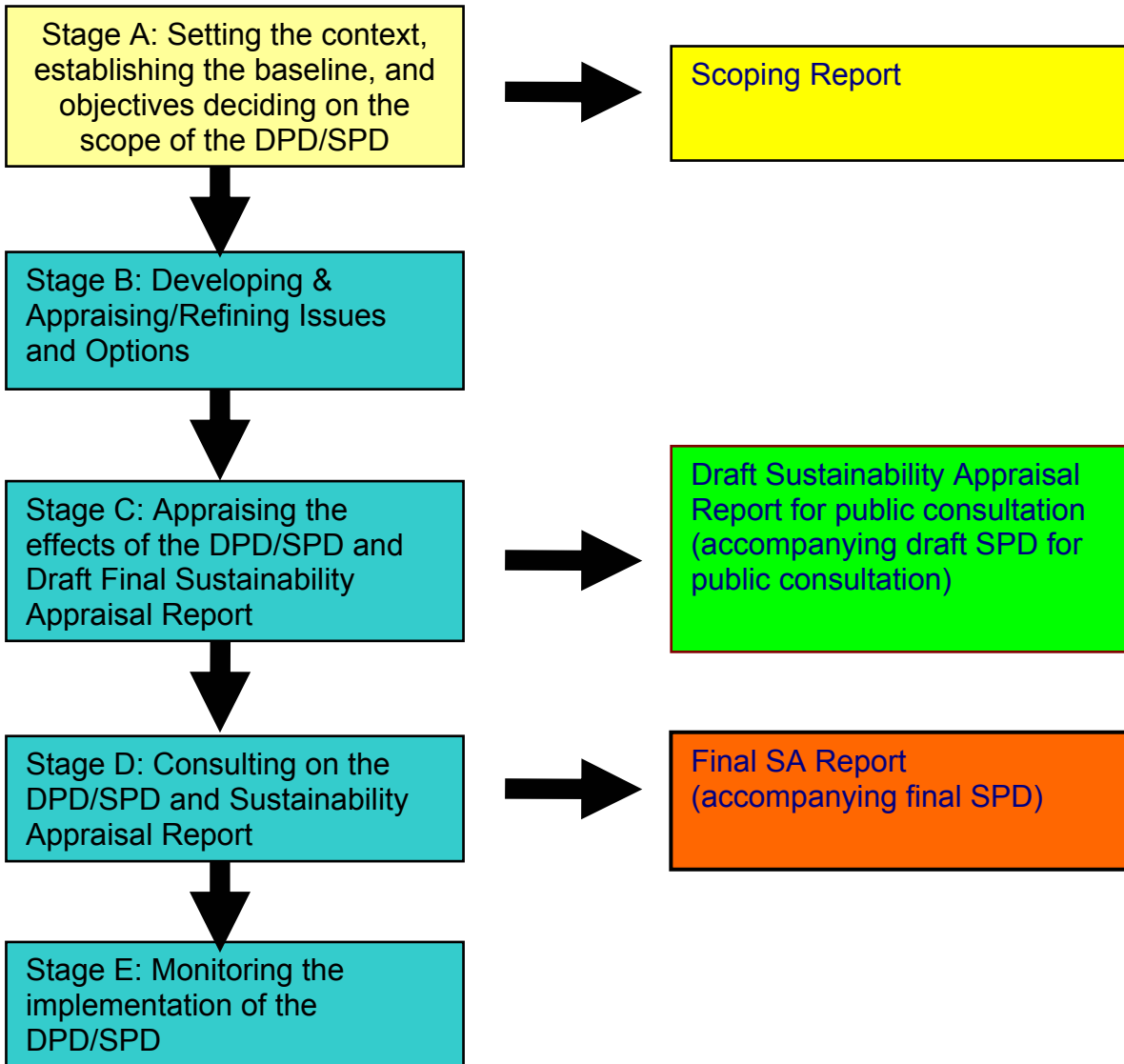
Acting mainly as a sign-posting, non-technical reference, the 'Access for All' SPD will:-

- serve primarily as planning guidance. However it will be relevant to all Council service areas that have responsibility for shaping and improving the built environment.
- seek to better integrate access considerations into the development process by firmly rooting the broad principles of inclusive design into the heart of Harrow's planning system.
- provide definitive advice in relation to planning applications, frequently asked questions and in situations where requests for straightforward technical advice is sought.
- adopt standards inline with statutory requirements and legislation, introduce best practice standards and promote inclusive design.
- illustrate examples and provide guidance on how access can be incorporated into the intrinsic design of older buildings of special architectural or historic interest, whilst applying due sensitivity.
- ensure that within time, all buildings, facilities, services and information will be accessible to all local people.
- discourage design solutions that have a negative impact on the local environment.

6. Sustainability Appraisal Methodology

6.1 The approach adopted to undertake the SA was based on the process set out in the Draft Government Guidance on SA of Regional Spatial Strategies and Local Development Frameworks (September 2004). Figure 1 below demonstrates the stage by stage flow of the SA process and Figure 2 outlines the requirements and tasks to be undertaken within each stage of the SA process.

FIGURE 1: Flow Diagram to Describe the SA Process Stage by Stage:



6.2 At each stage of DPD or SPD production, a sustainability appraisal has been carried out to inform the consultation process, assist in refining policies and proposals and support submitted DPDs during the examination stage. There are five stages within the SA process and upon adoption of the Access for All SPD this SA will enter the final stage, Stage E: Monitoring the implementation of the SPD. The options appraisal requirements of stage B have been clarified in paragraph 4.3. The SA process has developed alongside the progression of the Access for All SPD. It should be recognised that systematic consideration of sustainable development requirements has been given throughout the formulation of this SA Figure 2 below also demonstrates the tasks involved in the SA process and how these link with the production of DPDs and SPDs.

6.3 The Council is producing an Overarching SA Report of the LDF, which is nearing completion. It identifies appropriate overarching high-level objectives for appraising policies against, and examines ‘baseline’ conditions in the Borough as required by stage A of the SA process. These overarching objectives have been used in this SA report assessment of the Access for All SPD (refer to page 12-15). This Overarching SA report is referred to as the SA Scoping Report in accordance with the ODPM draft SA guidance (September 2004) and has been designed to provide a foundation for the range of DPDs and SPDs that the Council intends to produce.

FIGURE 2: Sustainability Appraisal Process

Generic SA Stages for Plan making	SA process linkages to the preparation of DPDs and SPDs	Stages and Tasks
<p>Stage A: Gathering information to produce an SA Scoping Report</p>	<p>Prepared alongside the preparation of the evidence base for the relevant DPDs and SPDs.</p>	<p>A1- Identifying other relevant plans, programmes & sustainability objectives relevant to the LDF objectives to document how the plan is affected by outside factors and suggest ideas for how any constraints can be addressed.</p> <p>A2- Collecting relevant economic, social and environmental baseline information to provide an evidence base for sustainability issues, effects prediction and monitoring.</p> <p>A3- Identifying sustainability Issues to help focus the SA and streamline the subsequent stages, including baseline information analysis, setting of the SA Framework, prediction of effects and monitoring.</p> <p>A4- Developing the SA Framework to provide a means by which the sustainability of the plan can be appraised.</p> <p>A5- Testing the DPD/SPD objectives against the SA Framework - to ensure that the overall objectives of the plan are in accordance with sustainability principles and provide a suitable framework for developing options.</p> <p>A6- Consulting on the scope of the SA- The 'authorities' identified by the UK Government in the SEA Directive as being likely to be concerned by the environmental effects of implementing DPDs/SPDs have to be consulted to ensure the SA covers the sustainability issues.</p> <p>The four consultation authorities with environmental responsibilities as set out in Regulation 9 as part of the SEA determination process are:</p> <ol style="list-style-type: none"> 1. The Environment Agency; 2. The Countryside Agency; 3. English Nature; and 4. English Heritage.
<p>Stage B: Identify issues and options and prepare for consultation</p>	<p>Prepared outside the preparation of issues and options.</p>	<p>B1- Appraising issues and Options- To assist in the development and refinement of the options, by identifying potential sustainability effects of options for achieving the DPD/SPD objectives.</p> <p>B2- Consulting on the SA of emerging options of the DPD/SPD- To consult with the public and statutory bodies on the SA of emerging options to ensure the SA covers all the reasonable options and key sustainability issues.</p>

<p>Stage C-Appraising the effects of the draft DPD/SPD and SA report</p>	<p>Prepared alongside the preparation of the preferred options. Consultation on both DPD/SPD and SA report will take place at the same time.</p>	<p>C1- Predicting the effects of the plan, including plan options- to predict the significant effects of the DPD/SPD and the DPD/SPD options. C2- Assessing the effects of the DPD/SPD- to assess the significance of the predicted effects of the DPD/SPD and its options and assist in the refinement of the DPD/SPD. C3- Propose measures to maximise beneficial effects and mitigate adverse effects. C4- Developing proposals for monitoring- To detail the means by which the sustainability performance of the plan can be assessed. C5- Preparing the SA Report- to provide a detailed account of the SA process, including the findings of the appraisal and how it influenced the development of the DPD/SPD, in a format suitable for public consultation and decision-makers.</p>
<p>Stage D- Consultation on the DPD/SPD and Sustainability Appraisal Report</p>	<p>Prepared alongside the preparation of the submission of DPD/SPD. Consultation on both will take place at the same time.</p>	<p>D1- Consulting on the SA Report alongside the DPD/SPD- To provide the public and statutory bodies with an effective opportunity to express their opinions on the SA Report and to use it as a reference point in commenting on the plan. D2 - appraising significant changes- To ensure that any significant changes to the plan are assessed for their sustainability implications and influence the revision of the DPD/SPD. D3 - Decision making and providing information- to provide information on how the SA Report and consultees' opinions were taken into account in preparing the DPD/SPD. Submit DPD/SPD and SA Report to the Secretary of State.</p>
<p>Stage E- Monitoring the Implementation of the DPD/SPD</p>	<p>The sustainability of the Core Strategy DPD / SPD Policies will be assessed as part of the Annual Monitoring Report.</p>	<p>E1- Monitoring the significant effects of the plan- To measure the sustainability performance of the plan in order to determine whether its effects are as anticipated, and thereby inform future revisions. E2 - Responding to adverse effects- to ensure that the adverse effects can be identified and appropriate responses/actions developed.</p>

6.4 The SA Process stages followed in assessing the Access for All SPD

This Access for All SA report has addressed stages A-D of the SA process as outlined in Figure 2 above. The draft SA report accompanying the draft Access for All SPD was referred to the four consultation authorities with environmental responsibilities as stated in stage A6 of the SA process (see Figure 2 above), as well as relevant stakeholders as part of the initial consultation process³. The responses to this consultation were positive and were considered in the early development of the draft Access for All SPD and SA. The revised draft Access for All SPD and

³ Initial consultation on the draft Access for All SPD took place from 1st August 2005 to 14th September 2005.

SA was then subject to further statutory consultation⁴ This process invited further statutory and public comment on both the SPD and SA documents, these comments were considered, and where appropriate changes to the SPD and SA were made. None of these changes were considered significant enough to merit an options appraisal. This is because most of the changes were minor resulting in changes to the Access All SPD layout with regard to the design, diagrams and colour contrasting as oppose to policy direction.

6.5 Analysis of Relevant Plans and Baseline Collection

Baseline data relating to local social, economic and environmental issues was collected as a way of devising a structure for the Access for All SPD and to determine its content or scope in line with relevant government guidance, plans and programmes that were reviewed. The most important task in carrying out an SA of the Access for All SPD was to establish the likely significant effect of content of the Access for All SPD against social, economic and environmental factors, in accordance with the requirements of the SEA Directive and the Planning and Compulsory Purchase Act 2004.

6.6 A review of European, national, regional and local policy and strategy plans was undertaken to identify appropriate social, environmental and economic sustainability objectives for the Access for All SPD. The documents reviewed are detailed in the Access for All SPD Bibliography and in paragraph 2.2 of this SA report. These sustainability objectives have been interpreted as per the headings in the Access for All SPD and hence reflect the overall content and actions proposed in the SPD.

The objectives of the Access For All SPD are to:

1. ensure inclusively designed buildings and environments result from development
2. promote healthy living through provision of accessible health and fitness facilities
3. provide a range of recreational and leisure facilities that are accessible to everyone
4. promote social inclusion of disabled people
5. ensure that inadequate access provisions in existing buildings are remedied
6. broaden the scope of good design through partnership working between the Council, local businesses, industry, and professionals involved in the development process
7. streamline procedures for incorporating access considerations into the development process
8. raise the profile of local need and ensure inclusive local services
9. widen educational and skill-learning opportunities
10. promote accessible design that is consistent and beyond minimum standards
11. provide a link between the Council's planning process and service provider's DDA obligations
12. improve the quality of life for local people and reduce the strain on public health services

⁴ Statutory consultation took place in November and December 2005 (18th November - 30th December 2005).

13. encourage local spending by improving accessibility

14. improve access to historic venues and the services and facilities contained within them.

6.7 These Access for All SPD sustainability objectives have been assessed against environmental factors as required by Annex 1 Article 5(1) of the SEA Directive, to identify the likely significant effects of the Access for All SPD on these environmental factors. The environmental factors detailed in the SEA Directive Annex 1 Article 5(1) are as follows: biodiversity, population, human health, fauna, flora, soil, water, air, climatic factors, material assets, cultural heritage including architectural and archaeological heritage, landscape and the interrelationship between the above factors. (See Appendix 3).

6.8 Appendix 3 details the sustainability objectives formulated based on the context of the Access for All SPD and the sustainability dimensions these objectives address i.e. social, economic and/or environmental. It also demonstrates the proposed actions of the Access for All SPD and the likely impact of these actions on the environmental factors listed above in implementing the Access for All SPD, and whether they are likely to be short, medium or long-term effects. Indicators have also been devised to monitor the implementation of the Access for All SPD objectives.

6.9 Social and Economic factors have also been considered through assessments of accessibility with regards to Harrow population statistics, health, access to a variety of public facilities in the Borough such as banks, shops, stations, colleges etc. (See Appendix 2).

6.10 These Access for All SPD objectives have also been assessed against the overarching SA objectives contained in the Overarching SA Scoping Report of the LDF that the Council is nearing completion (as mentioned earlier in paragraph 6.3, also see below, figure 3). This is to ensure that the Access for All SPD objectives are consistent with the overall objectives of the Council's vision proposed for the LDF, and also to test that the Access for All SPD objectives meet economic, environmental and social factors.

FIGURE 3: The overarching SEA/SA Objectives contained in the Overarching SA Scoping Report of the LDF

SEA/SA Objective No.	Overarching SEA/SA Objective	Econ	Soc	Env
1	To make the most efficient use of land by developing on redundant and vacant brown field sites and buildings, and to ensure that land is remediated as appropriate			✓
2	To protect the quality, quantity and accessibility of open spaces in the Borough			✓
3	To conserve and enhance the ecosystems/habitats, species and species diversity in the Borough			✓
4	To restrict development which can negatively affect the landscape and streetscape and design of historic, archaeological sites (listed buildings and conservation areas) or culturally important features.	✓	✓	✓
5	Reduce road congestion and traffic pollution levels by improving travel choice, reducing the need for travel by car, and shortening the length and duration of journeys	✓	✓	✓
6	To reduce air pollution and ensure air quality continues to improve through addressing the cause of climate change through reducing emissions of greenhouse gases		✓	✓
7	To reduce pollution of land (soil) and water			✓
8	To promote development proposals and/ or policies which consider the implementation of renewable/sustainable energy technologies, which exploit the use of wind, solar and biomass energy	✓		✓
9	Incorporate waste strategies into new developments and promote further the waste hierarchy of minimisation, reuse, recycling and composting			✓
10	To facilitate the development of a dynamic and diverse economic sector which attracts growth, enables partnership working and training and skills development opportunities	✓	✓	
11	To ensure all groups have access to decent, appropriate and affordable housing that meets the needs of Harrow's residents.	✓	✓	✓
12	To reduce social exclusion by improving accessibility to jobs, health, education, shops, leisure, cultural and community facilities to everyone	✓	✓	
13	To improve the health and wellbeing of Harrow residents and reduce inequalities in health	✓	✓	✓
14	To improve the competitiveness, vitality, viability and adaptability of Harrow town centre	✓	✓	
15	To reduce crime and the fear of crime	✓	✓	✓

FIGURE 4: Compatibility Matrix comparing the Access for All SPD objectives against the Overarching SEA/SA Objectives of the LDF

OVERARCHING SEA/SA OBJECTIVES OF THE LDF (No.s)															
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
S															
P										+	+	+	+		
D												+	+		
O		+										+	+		
B											+	+	+		
J				-							+	+			
E				+							+	+			
T												+			
C											+	+	+		
I												+			
V											+	+	+		
E											+	+			
S		+									+	+	+		
												+			
		+/-	+/-	+/-								+		+	

+	Objectives are compatible
	Objectives have no link
?	Uncertain link
+/-	Potentially compatible and incompatible
-	Objectives are incompatible

Uncertain compatibility and some incompatibilities between the overarching SEA/SA LDF objectives and the Access for All SPD objectives have been identified in the matrix above (figure 4). It was considered that the incompatibilities identified should not necessitate the Access for all SPD objectives to be re-written since the actual likely impact or effect of the objectives on one another is dependent on the way in which they are implemented. There are some areas of potential conflict which will always remain, for example, certain listed buildings which may require changes to become accessible to all and afford equal opportunities to all, may not be adaptable to accommodate access arrangements as this could compromise the architectural and historic value of the building. It should be noted, however that where adaptations are permissible, potential likely negative impacts can be avoided through the implementation of the Access for All SPD and the saved HUDP policies.

FIGURE 5: Highlights the areas of uncertainty and incompatibility between the implementation of objectives as identified in the matrix above (Figure 4)

SPD objective	Compatibility uncertainty with overarching SA objective	Implementation considerations
<p>14) improve access to historic and contained services and facilities</p>	<p>2) To protect the quality, quantity and accessibility of open spaces in the Borough</p> <p>3) To conserve and enhance the ecosystems/habitats, species and species diversity in the Borough</p> <p>4) To restrict development which can negatively affect the landscape and streetscape and design of historic, archaeological sites (listed buildings and conservation areas) or culturally important features.</p>	<p>Improving access to areas of historical, biodiversity, archaeological or open space value can lead to increasing their value to the community and thus help to ensure their protection. However increasing use and traffic can have adverse affects on some sensitive sites.</p>
<p>5) ensure that inadequate access provisions in existing buildings are remedied</p>	<p>4) To restrict development which can negatively affect the landscape and streetscape and design of historic, archaeological sites (listed buildings and conservation areas) or culturally important features.</p>	<p>There may be some instance where providing for access provisions could compromise the existing historical and architectural values and streetscape.</p>

7. HUDP Policies Appraisal

It is a requirement that when appraising an SPD, the unitary development plan policies being supplemented should themselves be appraised if this has not previously taken place.⁵ As mentioned in paragraph 2.1, Access for All SPD supplements policies: D4, C16 and C17 of the HUDP. It will also contribute towards the implementation of policies SR2 SC1, EP47, D25, C7, and C9. The table below, figure 6, demonstrates the appraisal of HUDP policies D4, C16 and C17. The appraisal of policy D4 covers all the other policies as the policy applies to 'all development proposals'. These policies have been appraised against the overarching SEA/SA objectives of the LDF. All the policies can be seen in full in Appendix 4.

FIGURE 6: Relevant HUDP Policies Appraisal Chart

Key:

++	Strong impact
+	Moderate impact
-	Negative impact
	No impact

Relevant HUDP saved policies	Short, medium and long term impacts	Overarching SEA/SA objectives by Number														
		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
D4 C16 C17	Short	++	+ ++ ++		+ - -	+ + +				+ + +	+ - -	+ + +	++ ++ +			
	Medium	++	+ ++ ++		+ - -	+ + +			+ + +	+ + +	+ + +	+ + +	++ ++ +	+ + +	+ + +	
	Long	++	+ ++ ++		+ - -	+ + +			+ + +	+ + +	+ + +	+ + +	++ ++ +	+ + +	+ + +	

⁵ Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Interim Advice Note on Frequently Asked Questions, ODPM, London, April 2005

Assessment of Policies:

The policies make a positive contribution to sustainability in terms of socially seeking to achieve accessibility for disabled people, including wheelchair users and elderly people through encouraging community services and facilities to meet the needs of all who live, work or visit the Borough. The policies make a positive contribution to environmental aspects, since facilitating the improvement of accessibility to open spaces can raise the value of such spaces and create a sense of belonging amongst locals, which can further help to protect and enhance what is available to see and access.

Policies C16 and C17 in relation to SEA/SA objective 4 have been shown in the table to be potentially negative in their impact. There may be some instance where providing for access provisions could compromise the existing historical and architectural values and streetscape.

Policies C16 and C17 in relation to SEA/SA objective 10 also demonstrate potential negative impacts in the table, as there may be initial upfront costs to developers adapting or converting existing buildings and services to make them accessible to all users, which theoretically could in turn affect the economic sector. However these changes would enable equality of opportunity to training and skills development, jobs and partnership working. This initial cost would be a short-term negative impact in making adaptations to existing buildings, however this would be a positive medium and long-term impact or solution.

The policies have an indirect positive effect on the economy by enabling disabled people improved access to shops and service, and also in enabling disabled people access to places of employment.

8. Baseline Reasoning and Data

The population of the UK is predicted to grow by 7% over the next 30 years, however, the number of disabled people in the UK is expected to rise by 40% according to the Office for National Statistics.

8.1 The latest population projections produced by the Greater London Authority (GLA) (2005 Interim Projections Scenario 8.8) show that by year 2020 it is estimated that half of Harrow's adult population will be aged over 50, with people over 75 being the most rapidly growing sector. With an ever-increasing aging population and the associated likelihood of higher numbers of people with restricted mobility, there is urgent need for design methods based on better understanding of age and disability related factors. The Council must therefore adopt guidance that sets clear parameters for the design of developments, as decisions taken now will affect Harrow in the decades beyond 2020.

FIGURE 7: Population of Harrow with Limited Long Term Illness (LLTI) or Disability

Age Range	Population of Harrow	People with LLTI or Disability	People likely to benefit from Inclusive Design
0-15 years of age	41655	1518	3.64 %
Females 16-59 Males 16-64	129599	13119	10.12 %
Females 60+ Males 65+	33843	14887	43.99 %
75+	<i>*13750</i>	<i>*7832</i>	<i>*56.96 %</i>
All people	205097	29524	14.40 %

(*figures in italics do not contribute to the total).

8.2 Whilst nearly 31,000 people currently have a long-term illness or disability research reveals that 61.4% of retail units in Harrow are inaccessible to wheelchair users (Appendix 2).

8.3 All new buildings in Harrow are required to comply with Part M to the Building Regulations 2000 (2004 edition) and are therefore accessible to disabled people. However, from research carried out, a high proportion of existing buildings remain inaccessible to disabled people, particularly wheelchair users.

8.4 Planning Application Consultations & Enquiries Received

In addition to reflecting statutory requirements, the guidance contained in the Access for All SPD is based on access observations provided as part of the formal planning application process between September 2001 and August 2003. The data collected between September 2001 and August 2003 (from access observations provided in relation to planning applications, enquiries from local people, and site visits relating to concerns or complaints handled) was used during production of the Access for All SPD.

8.5 Appendix 1 details **planning applications** on which observations were made from an accessibility point of view. A range of sustainability issues emerged from these. Based on the tabulated information it became evident that there was a need for clear guidance on accessibility and access in new development schemes. It is essential that these considerations are addressed at the initial stage of development to ensure compliance with the Disability Discrimination Act 1995 (DDA) and current best practice regulations, and to ensure that issues of sustainable development are addressed. These sustainability issues and or the issues least addressed by planning applicants have clearly influenced the content of the Access for All SPD.

8.6 It is the case that a significant proportion of existing buildings in Harrow (where services to the public are delivered) remain inaccessible to local people. Many of these

buildings will require ramps or an alternative intervention to facilitate access, in order that service providers can fulfil their obligations under the DDA. Statistical information is detailed in Appendix 2. The tables demonstrate inaccessibility levels to local retail units in the main designated retail areas in Harrow.

8.7 Research carried out suggests **smaller retailers** are gaining little benefit from the spending power of disabled people. This suggests that disabled people are required to travel distances to larger more accessible retail outlets, shop out of borough, or perhaps be reliant upon assistance from others. A survey of 2043 shop frontages in Harrow's primary shopping centres was carried out to measure the impact that Planning Policy Guidance 6 (PPG6) and Planning Policy Statement 6 (PPS6) had had on improving the accessibility of such areas and particularly on the shop units themselves. The study confirmed that 61.4% of retail units in the Borough have stepped entrances and are therefore inaccessible to wheelchair users. See Appendix 2 for survey details.

8.8 A number of **privately owned car parks** within the Borough were assessed against the best practice guidance of British Standard 8300; 2001- Code of Practice (BS 8300). Although in the majority of cases the dimensions of the car parking bays exceeded best practice guidelines, the side transfer bay had either been omitted or incorrectly designed. Guidance should be provided to ensure that new car parking bays are designed in accordance with BS 8300. See Appendix 2.

8.9 From a randomly selected list, 10 locally **listed buildings** were visited to ascertain the amount of accessibility for the public. The London Borough of Harrow has over 1300 entries on locally and statutorily listed buildings. Selections of buildings in different wards were picked for our observation. The findings are presented in Appendix 2. Of the 10 buildings of special architectural interest, only 2 catered for the needs of wheelchair users. See Appendices 1 and 2.

8.10 Harrow Council has an on-going programme of improvement work for **schools** in the Borough and therefore an assessment of these areas was not completed. However, Harrow's 3 establishments of further education were assessed for accessibility purposes and a number of deficiencies were identified as detailed in Appendix 2.

8.11 Eight **randomly selected bars and restaurants** across the Borough were assessed for access to the premises and facilities. As expected the more established chains provided better access facilities, however there is a need for clear guidance to make all premises and facilities accessible. Premises requiring customer toilet facilities under Licensing or Environmental Health regulations should incorporate at least one facility that is accessible to all customers. Guidance will be provided within the Access for All SPD to this effect as it develops. Although each individual facilities situation will be assessed on its own merits, the feasibility study carried out as part of this work indicates that premises with a floor area greater than 65m² can accommodate an accessible provision designed in accordance with BS 8300, 'unisex accessible corner WC' layout, without causing undue detriment to the business. It is therefore intended that the Access for All SPD will undergo refinement to require premises with a floor area greater than 65m² to have at least one accessible WC facility.

8.12 A study was conducted of guest accommodation in 13 **hotels** to assess compliance with BS 8300. Only 4 out of the 10 hotels visited were accessible and had facilities for wheelchair users. A number of establishments claimed to have access and facilities, however upon inspection these were found to be lacking.

9. Next Steps

indicators which have been devised to monitor the implementation of the Access for All SPD objectives (Appendix 3) will be monitored and further developed on the basis of changes in future baseline as a result of implementation findings.

**APPENDIX 1:
Summary of Access Comments Provided on Non-domestic Planning Applications (Sept 01 to Aug 2003)**

		Related Requirement or Informative																				
Type Of Application	Quantity	DDA Obligations	Parking	Street Furniture & Open Spaces	External Access to Buildings	Ramps	External Steps	Entrances to Buildings	Horizontal Circulation	Vertical Circulation	Signage	Accessible Toilet Provision	Access for Staff	Entertainment & Hospitality	Reception & Service Counters	Means of Escape	Customer Care (inc. Lighting)	Changing Facilities	Customer Seating	Payment Facilities	Access to Unique Facility	
Tables & Chairs on Highway	3	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A1 - A3	21	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
New Shopfronts	25	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Take Away/ Restaurant	6	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Places of Worship	5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Teaching Accommodation	8	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Medical, Dental, Social Care	10	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A2-A3	4	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Automatic Teller Machines	5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Office Accommodation	5	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
Leisure & Entertainment Facilities	9	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓

APPENDIX 2: Table Showing the level of Accessibility/inaccessibility to retail units in Harrow by wheelchair users

Establishment	Area or Ward	Inaccessibility		Assessment Analysis	Implications for the Access for All SPD objectives
		Accessible	Inaccessible		
2,043 Shop Frontages Assessed for Level or Suitably Ramped Access (in main designated retail areas)					
	Sudbury Hill	10	23	Results from surveying 2,043 shop units across the borough, indicate that 61.4% of retail outlets are inaccessible to wheelchair users.	Ensure requirements to improve access for wheelchair users into retail outlets and particularly into small shop units.
	Kenton	38	56		
	Queensbury	24	33		
	Edgware	31	57		
	Burnt Oak	24	35		
	Stanmore	37	51		
	Belmont	26	84		
	Harrow Weald	17	68		
	Wealdstone	60	172		
	Harrow Town Centre	215	377		
	Hatch End	46	31		
	Pinner	74	97		
	North Harrow	46	53		
	Rayners Lane	51	25		

APPENDIX 2: Table to show the accessibility to various types of randomly surveyed public facilities in Harrow	Ward	Accessible	Assessment Analysis	Action for SPD
Establishment				
10 Listed Buildings assessed for access and facilities				
Rat & Parrot	Greenhill	✓	Has low levels for disabled access and seating is provided outside. Toilets are provided for disabled customers	No action
Nat West Bank	Greenhill	✓	Undergoing construction to provide ramp access.	Demonstrate adaptation need not harm significant features of a building of special architectural or historic interest.
St John's Church	Greenhill		Has no access and would not be suitable for wheelchair users. Use of a temporary ramp seems to be in existence	Provide guidance to encourage access improvements that allow disabled people to partake in religious services and practices.
Gold's Gym	Greenhill		Has no facilities for wheelchair users, the doors are not user friendly, and there is no doorbell to ring for assistance.	Provide guidance on achieving inclusive fitness facilities, together with positive images.
Wealdstone Baptist Church	Harrow Wealdstone		No facilities exist for disabled people. The church is set over a metre from ground level with steps leading into the church. Particularly inaccessible to wheelchair users.	Provide guidance to encourage access improvements that allow disabled people to partake in religious services and practices.
Wealdstone Methodist Church	Harrow Wealdstone		No adequate parking space or access ramp into the church.	
Stanmore Station	Stanmore		No wheelchair access. Steps are the only means of reaching the station; no lifts exist.	No action for the SPD. The Council has no direct control.

APPENDIX 2: Table to show the accessibility to various types of randomly surveyed public facilities in Harrow	Ward	Accessible	Assessment Analysis	Action for SPD
Establishment				
Bernay's Memorial Institution	Stanmore	✓	Has ramped access (specification not checked). Car parking is restricted.	No action
Headstone Station	Harrow-on-the Hill		Inaccessible to wheelchair users as there is no lift access.	No action for the SPD. The Council has no direct control.
Etonian Hotel	Harrow-on-the Hill		Does not have amenities for disabled guests.	Provide guidance on overnight accommodation.
3 Education facilities assessed for access				
Stanmore College	Stanmore	✓	Has 4 designated accessible car parking spaces.	Provide physical access guidance relevant to educational establishments.
Harrow College	Stanmore	✓	Designated accessible car parking spaces within close range of the reception area.	Provide insight into the social and economic value of providing equal access to all facilities.
St Dominic's College	Harrow-on-the-Hill		No accessible parking. Level flooring throughout which facilitates the movement of wheelchair users. There are 3 accessible toilets within the college, with one on the basement level; accessed via a ramp. Measurements identified that it is below standard.	
11 Service providers with privately owned car parks assessed for compliance BS 8300⁶				
Netto	South Harrow		There are 4 accessible parking bays; all four are within easy reach of the store. Bays are not in accordance with BS 8300.	Provide detailed guidance on the design and location of accessible parking bays to ensure that best practice
Harrow College	Stanmore	✓	Designated accessible car parking bays are sited within close range of the reception area.	

⁶ Access for All SPD contains guidance on relevant requirements

APPENDIX 2: Table to show the accessibility to various types of randomly surveyed public facilities in Harrow	Ward	Accessible	Assessment Analysis	Action for SPD
Establishment				
Tesco	Greenhill	✓	Has 20 designated accessible parking spaces within 50 metres of the store. The parking bays are not in line with the criteria BS 8300 as the shared transfer area is only 890mm.	standards are promoted and that borough-wide consistency is achieved.
Sainsbury	Stanmore	✓	13 accessible car parking bays within 10m of the shop, at 4830mm x 2300mm with a side of transfer area (where provided) of 1300mm.	
Lidl	Stanmore	✓	Has 4 accessible car parking bays with dimensions exceeding the criteria of BS 8300.	
Stanmore Sixth Form	Stanmore	✓	Has 4 designated accessible car parking bays.	
Cumberland Hotel	Greenhill		No designated accessible parking.	Provide detailed guidance on the design and location of accessible parking bays to ensure that best practice standards are promoted and that borough-wide consistency is achieved.
Waitrose	Harrow Wealdstone	✓	Accessible parking bays fall outside BS 8300 design guidance. Parking spaces are within 50m of the shop entrance.	
South Harrow Complex	South Harrow	✓	Has 17 accessible parking spaces, all of which are compliant with the guidance of BS 8300.	
McDonalds restaurant	South Harrow		Accessible car parking bays fall short of BS 8300 design guidance.	
Bar limited: banqueting suite	South Harrow		No designated accessible parking.	

APPENDIX 2: Table to show the accessibility to various types of randomly surveyed public facilities in Harrow	Ward	Accessible	Assessment Analysis	Action for SPD
Establishment				
8 Bars and Restaurants accessed for access and facilities				
Nando's	Greenhill	✓	Good access via internal ramp. There is also an accessible toilet facility, which doubles-up as a baby changing room. At 2190mm by 1420mm, the cubicle dimensions fall below current best practice standards. Has internal floor area of 139m ²	Provide guidance on creating good access to bars and restaurants, including delivery of accessible services in context to catering and hospitality. Include requirements for ensuring that outdoor tables and chairs do not hinder the movement of disabled people, nor compromise the safety of blind or partially sighted people.
Burger Bar	Stanmore	✓	A temporary ramp for wheelchair users is available. An accessible toilet, in keeping with the guidance of BS 8300, is available. Has internal floor area of 93m ²	Provide guidance on creating good access to bars and restaurants, including delivery of accessible services in context to catering and hospitality. Include requirements for ensuring that outdoor tables and chairs do not hinder the movement of disabled people, nor compromise the safety of blind or partially sighted people.
The Man in the Moon Pub	Stanmore		Access for wheelchair users is difficult and at times practically unviable. Accessible toilet locked and key was unobtainable. Has internal floor area of 279m ²	Provide guidance on creating good access to bars and restaurants, including delivery of accessible services in context to catering and hospitality. Include requirements for ensuring that outdoor tables and chairs do not hinder the movement of disabled people, nor compromise the safety of blind or partially sighted people.
Bar Limited	South Harrow		Has no accessible parking or toilet facilities.	Provide guidance on creating good access to bars and restaurants, including delivery of accessible services in context to catering and hospitality. Include requirements for ensuring that outdoor tables and chairs do not hinder the movement of
Lobsters Fish bar	South Harrow		Has level access into the shop, but does not have accessible customer toilets. Has internal floor area of 74m ²	Provide guidance on creating good access to bars and restaurants, including delivery of accessible services in context to catering and hospitality. Include requirements for ensuring that outdoor tables and chairs do not hinder the movement of
Rat and Parrot	Greenhill	✓	General access provisions have been made. Seating is provided outside and concern is raised for the safety of people with visual impairments. An accessible toilet has been provided. Has internal floor area of 242m ²	Provide guidance on creating good access to bars and restaurants, including delivery of accessible services in context to catering and hospitality. Include requirements for ensuring that outdoor tables and chairs do not hinder the movement of
McDonalds Restaurant	Greenhill		Has designated car parking spaces but no side transfer area. Accessible toilet facility meets the specification of BS 8300. Has internal floor area of 407m ²	Provide guidance on creating good access to bars and restaurants, including delivery of accessible services in context to catering and hospitality. Include requirements for ensuring that outdoor tables and chairs do not hinder the movement of

APPENDIX 2: Table to show the accessibility to various types of randomly surveyed public facilities in Harrow	Ward	Accessible	Assessment Analysis	Action for SPD
Establishment				
Lontosa	Greenhill		No accessible facilities. Has internal floor area of 84m ²	disabled people, nor compromise the safety of blind and partially sighted people.
Belmont Sandwich Bar	Belmont		Stepped entrance. Internal floor area of 65m ² . Accessible WC.	
13 Hotel and Bed & Breakfast Accommodation assessed for accessibility and bedrooms designed to BS 8300				
Old Etonian Hotel	Harrow-on-the-Hill		Not accessible to wheelchair users.	
Madonna Halley's Hotel	Canons		No suitable access for wheelchair users; no access ramp to rooms and en-suite bathroom measures L=1.79 and W=1.56.	Ensure all new overnight accommodation meets the minimum requirements of BS 8300 and in any case is fitted out to the highest standard to allow 'home from home' independence by wheelchair users.
Lyndon Hotel	Greenhill		No wheelchair access at the front of the house. No rooms that were wheelchair accessible	
Lindal Hotel	Greenhill		No wheelchair access at the front of the house. No rooms that were wheelchair accessible.	
Crescent Hotel	Greenhill		Not accessible to wheelchair users.	
Comfort Inn	Greenhill		The room allocated to wheelchair users is small, with limited manoeuvring space and the bathroom is small.	Ensure all new overnight accommodation meets the

APPENDIX 2: Table to show the accessibility to various types of randomly surveyed public facilities in Harrow	Ward	Accessible	Assessment Analysis	Action for SPD
Establishment				
Grimsdyke Hotel	Harrow weald	✓	Rooms allocated to wheelchair users were sited in a separate annexe within close proximity to the main hotel. Access into the room was easy. The room was large, with level access into the ensuite bathroom (3.6m by 2.2m). The entire bathroom is a 'wet floor area' and has a pull-down seat for ambulant disabled people. A good example of how hotels should meet BS 8300.	minimum requirements of BS 8300, and in any case is fitted out to the highest of standard to allow 'home from home' independence by wheelchair users.
Premier Travel Inn	Kenton	✓	Accessible parking exists and access to the reception area is level. Access to the rooms is by ramp. The rooms are adequately sized with good space for wheelchair manoeuvring. Level access to en-suite bathroom is provided and there is adequate space for the manoeuvring of a wheelchair.	Ensure all new overnight accommodation meets the minimum requirements of BS 8300, and in any case is fitted out to the highest of standard to allow 'home from home' independence by wheelchair users.
Amay House	Greenhill		No wheelchair access exists.	
Hindes House	Greenhill		No wheelchair access exists.	
Kings guest house	Greenhill		No wheelchair access exists.	
Euro Hotel	North Harrow		No wheelchair access exists.	
Cumberland Hotel	Greenhill		No wheelchair access exists.	
Premier Travel Inn	Edgware	✓	Accessible parking exists and access to the reception area is level. Access to rooms is by ramp. The rooms are adequately sized with good space for wheelchair manoeuvring. Level access to en-suite bathroom is provided and there is adequate space for the manoeuvring of a wheelchair.	Ensure all new overnight accommodation meets the minimum requirements of BS 8300, and in any case is fitted out to the highest of standard to allow 'home from home' independence by wheelchair users.

APPENDIX 2: Table to show the accessibility to various types of randomly surveyed public facilities in Harrow	Ward	Accessible	Assessment Analysis	Action for SPD
Establishment Kenton hotel			No accessible parking facility. No ramp access leading to the hotel reception.	users.

Access for All SPD Sustainability Objectives	<p>APPENDIX 3: Table to tests the objectives of the Access for All SPD against the SEA criteria to assess the likely impact of the SPD objectives on environmental factors</p> <p>The likely significant effects of the Access for All SPD objectives on the environmental factors in implementing the Access for All SPD. The table also shows the likely duration of these effects.</p>										<p>The following indicators will be used to monitor the implementation of the Access for All SPD Objectives</p>			
	Environmental	Economic	Social	Short Term	Medium Term	Long Term	Biodiversity, Flora & Fauna	Population & Human Health	Water and Soil	Air Quality	Climatic Factors	Cultural Heritage & Archaeology	Landscape & Townscape	Material Assets
To ensure inclusively designed buildings and environments result from development	+	+	+	✓	✓	+	+	+	+	+	+	+	+	Increased number of buildings and environments designed in accordance with Urban Design principles with accessible features not permitted as compromised afterthoughts.
To promote healthy living through provision of accessible health and fitness facilities	+	+	+	✓	✓	+	+	+	+	+	+	+	+	Provision of at least one facility in Harrow which is designed, equipped and approved as an inclusive fitness facility

<p>Access for All SPD Sustainability Objectives</p>	<p>Social</p>	<p>To provide a range of recreational and leisure facilities that are accessible to everyone</p>	+	+	+	+	+	+	+	+	+
	<p>Economic</p>		<p>Environmental</p>	+	+	+	+	+	+	+	+
<p>APPENDIX 3: Table to tests the objectives of the Access for All SPD against the SEA criteria to assess the likely impact of the SPD objectives on environmental factors The likely significant effects of the Access for All SPD objectives on the environmental factors in implementing the Access for All SPD. The table also shows the likely duration of these effects.</p>	<p>Short Term</p>	<p>Provides specific guidance in Eating and Drinking Areas, Leisure and Entertainment, Places of Worship, Buildings of Special Architectural or Historic Interest, and Education and Learning Establishments, in relation to a range of facilities where deficiencies have been identified</p>	✓	✓	✓	+	+	+	+	+	+
	<p>Medium Term</p>		<p>Long Term</p>	✓	✓	✓	+	+	+	+	+
<p>The following indicators will be used to monitor the implementation of the Access for All SPD Objectives</p>	<p>Social</p>	<p>Accessible health and fitness facilities in Harrow</p>	+	+	+	+	+	+	+	+	+
	<p>Economic</p>		<p>Environmental</p>	+	+	+	+	+	+	+	+
<p>The following indicators will be used to monitor the implementation of the Access for All SPD Objectives</p>	<p>Social</p>	<p>Increased number of disabled people active in community life</p>	+	+	+	+	+	+	+	+	+
	<p>Economic</p>		<p>Environmental</p>	+	+	+	+	+	+	+	+

<p>Access for All SPD Sustainability Objectives</p>	<p>Environmental</p> <p>Economic</p> <p>Social</p>	<p>To ensure that inadequate access provisions in existing buildings are remedied</p>	<p>+</p> <p>+</p> <p>+</p>
<p>APPENDIX 3: Table to tests the objectives of the Access for All SPD against the SEA criteria to assess the likely impact of the SPD objectives on environmental factors The likely significant effects of the Access for All SPD objectives on the environmental factors in implementing the Access for All SPD. The table also shows the likely duration of these effects.</p>		<p>Presents, within Alterations or 'Change of Use' Planning Applications, possible solutions and some requirement for improving access into and around existing buildings</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>+</p> <p>+</p> <p>+</p> <p>+</p> <p>+</p> <p>+</p>
<p>The following indicators will be used to monitor the implementation of the Access for All SPD Objectives</p>		<p>Increased number of older buildings that are accessible</p>	

<p>Access for All SPD Sustainability Objectives</p>	<p>Environmental</p> <p>Economic</p> <p>Social</p>	<p>To broaden the scope of good design through partnership working between the Council, local businesses, industry, and professionals involved in the development process</p>	<p>+</p> <p>+</p> <p>+</p>
<p>APPENDIX 3: Table to tests the objectives of the Access for All SPD against the SEA criteria to assess the likely impact of the SPD objectives on environmental factors</p> <p>The likely significant effects of the Access for All SPD objectives on the environmental factors in implementing the Access for All SPD. The table also shows the likely duration of these effects.</p>	<p>Material Assets</p> <p>Landscape & Townscape</p> <p>Cultural Heritage & Archaeology</p> <p>Climatic Factors</p> <p>Air Quality</p> <p>Water and Soil</p> <p>Population & Human Health</p> <p>Biodiversity, Flora & Fauna</p> <p>Long Term</p> <p>Medium Term</p> <p>Short Term</p>	<p>Invitation, within the Introduction, of partnership working between Council and planning applicants to achieve, acceptable access solutions, through early consultation with Development Control</p>	<p>+</p> <p>+</p> <p>+</p> <p></p> <p></p> <p></p> <p>+</p> <p></p> <p>✓</p> <p>✓</p> <p>✓</p>
<p>The following indicators will be used to monitor the implementation of the Access for All SPD Objectives</p>		<p>Achievement of a more managed and aesthetically pleasing environment. More services accessible to disabled people</p>	

<p>Access for All SPD Sustainability Objectives</p>	<p>APPENDIX 3: Table to tests the objectives of the Access for All SPD against the SEA criteria to assess the likely impact of the SPD objectives on environmental factors The likely significant effects of the Access for All SPD objectives on the environmental factors in implementing the Access for All SPD. The table also shows the likely duration of these effects.</p>	<p>The following indicators will be used to monitor the implementation of the Access for All SPD Objectives</p>
<p>Social</p>	<p>Short Term</p>	
<p>To streamline procedures for incorporating access considerations into the development process</p>	<p>Introduces and places an obligation on planning applicants to submit access statements</p>	<p>All relevant planning applications received with an accompanying access statement</p>
<p>+</p>	<p>✓</p>	
<p>+</p>	<p>+</p>	
<p>Environmental</p>	<p>Material Assets</p>	
<p>Economic</p>	<p>Population & Human Health</p>	
<p>+</p>	<p>+</p>	
<p>+</p>	<p>+</p>	
<p>+</p>	<p>+</p>	
<p>Long Term</p>	<p>Cultural Heritage & Archaeology</p>	
<p>Medium Term</p>	<p>Landscape & Townscape</p>	
<p>+</p>	<p>+</p>	
<p>+</p>	<p>+</p>	
<p>+</p>	<p>+</p>	
<p>Short Term</p>	<p>Air Quality</p>	
<p>+</p>	<p>Water and Soil</p>	
<p>+</p>	<p>Climatic Factors</p>	
<p>+</p>	<p>Biodiversity, Flora & Fauna</p>	
<p>+</p>	<p>Long Term</p>	
<p>Medium Term</p>	<p>Population & Human Health</p>	
<p>+</p>	<p>Medium Term</p>	
<p>+</p>	<p>Short Term</p>	
<p>+</p>	<p>Long Term</p>	
<p>+</p>	<p>Medium Term</p>	
<p>Short Term</p>	<p>Air Quality</p>	
<p>+</p>	<p>Water and Soil</p>	
<p>+</p>	<p>Climatic Factors</p>	
<p>+</p>	<p>Biodiversity, Flora & Fauna</p>	
<p>+</p>	<p>Long Term</p>	
<p>Medium Term</p>	<p>Population & Human Health</p>	
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<p>+</p>	<p>Long Term</p>	
<p>+</p>	<p>Medium Term</p>	
<p>Short Term</p>	<p>Air Quality</p>	
<p>+</p>	<p>Water and Soil</p>	
<p>+</p>	<p>Climatic Factors</p>	
<p>+</p>	<p>Biodiversity, Flora & Fauna</p>	
<p>+</p>	<p>Long Term</p>	
<p>Medium Term</p>	<p>Population & Human Health</p>	
<p>+</p>	<p>Medium Term</p>	
<p>+</p>	<p>Short Term</p>	
<p>+</p>	<p>Long Term</p>	
<p>+</p>	<p>Medium Term</p>	
<p>Short Term</p>	<p>Air Quality</p>	
<p>+</p>	<p>Water and Soil</p>	
<p>+</p>	<p>Climatic Factors</p>	
<p>+</p>	<p>Biodiversity, Flora & Fauna</p>	
<p>+</p>	<p>Long Term</p>	
<p>Medium Term</p>	<p>Population & Human Health</p>	
<p>+</p>	<p>Medium Term</p>	
<p>+</p>	<p>Short Term</p>	
<p>+</p>	<p>Long Term</p>	
<p>+</p>	<p>Medium Term</p>	
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<p>+</p>	<p>Water and Soil</p>	
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<p>Short Term</p>	<p>Air Quality</p>	
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<p>+</p>	<p>Medium Term</p>	
<p>Short Term</p>	<p>Air Quality</p>	
<p>+</p>	<p>Water and Soil</p>	
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<p>+</p>	<p>Long Term</p>	
<p>+</p>	<p>Medium Term</p>	
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<p>+</p>	<p>Long Term</p>	
<p>+</p>	<p>Medium Term</p>	
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<p>+</p>	<p>Climatic Factors</p>	
<p>+</p>	<p>Biodiversity, Flora & Fauna</p>	
<p>+</p>	<p>Long Term</p>	
<p>Medium Term</p>	<p>Population & Human Health</p>	
<p>+</p>	<p>Medium Term</p>	
<p>+</p>	<p>Short Term</p>	
<p>+</p>	<p>Long Term</p>	
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<p>Medium Term</p>	<p>Population & Human Health</p>	
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<p>+</p>	<p>Long Term</p>	
<p>+</p>	<p>Medium Term</p>	
<p>Short Term</p>	<p>Air Quality</p>	
<p>+</p>	<p>Water and Soil</p>	
<p>+</p>	<p>Climatic Factors</p>	
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<p>+</p>	<p>Long Term</p>	
<p>Medium Term</p>	<p>Population & Human Health</p>	
<p>+</p>	<p>Medium Term</p>	
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<p>+</p>	<p>Long Term</p>	
<p>+</p>	<p>Medium Term</p>	
<p>Short Term</p>	<p>Air Quality</p>	

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<p>To widen educational and skill-learning opportunities</p>	<p>It raises the issue by promoting the importance of inclusive education and life-long learning within Education and Learning Establishments</p>	<p>Increased take-up of further education by disabled people</p>
<p>To promote accessible design that is consistent and beyond minimum standards</p>	<p>Exemplary standards recommended throughout the document, in-line with BS 8300</p>	<p>Developments that do not compromise the aesthetics of the environment</p>
<p>+</p> <p>+</p> <p>+</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>+</p> <p>+</p> <p>+</p> <p>+</p> <p>+</p> <p>+</p>	<p>+</p> <p>+</p> <p>+</p> <p>+</p> <p>+</p> <p>+</p> <p>+</p>

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<p>Economic</p>	<p>Landscape & Townscape</p>	
<p>Social</p>	<p>Cultural Heritage & Archaeology</p>	
<p>To provide a link between the Council's planning process and service provider's DDA obligations</p>	<p>Empowers planning applicants to achieve high standard access solutions by providing practical solutions to access issues, throughout the document</p>	<p>All relevant planning applications demonstrating integrated access provisions. Fewer developments requiring retrospective alterations to complement the DDA. Details of BS 8300 and Part M to the Building Regulations included on submitted plans and within Access Statements</p>
<p>To improve the quality of life for local people and reduce the strain on public health services</p>	<p>Provision within Leisure and Entertainment to create a community in which everyone can remain active</p>	<p>Reduction in the take-up of health related services for illness relating to inactivity</p>
<p>+</p>	<p>✓</p>	
<p>+</p>	<p>✓</p>	
<p>+</p>	<p>✓</p>	
<p>+</p>	<p>+</p>	
<p>+</p>	<p>+</p>	
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<p>+</p>	<p>+</p>	

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<p>Social</p>	<p>Short Term</p>	
<p>Economic</p>	<p>Medium Term</p>	
<p>Environmental</p>	<p>Long Term</p>	
<p>To encourage local spending by improving accessibility</p>	<p>Material Assets</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>Landscapes & Townscape</p>	
<p>To encourage local spending by improving accessibility</p>	<p>Cultural Heritage & Archaeology</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>Climatic Factors</p>	
<p>To encourage local spending by improving accessibility</p>	<p>Air Quality</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>Water and Soil</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>Population & Human Health</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>Biodiversity, Flora & Fauna</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>Provides within Change of Use Planning Applications, Accommodation, Leisure and Entertainment, design solutions to create access into Harrow's small retail units. Requires access solutions as part of the planning process. It is considered that a more accessible environment may create increased traffic volume. However, it is considered that any likely impact on the environment will be minor and in any case will be outweighed by the social and economic benefits</p>	<p>Reduction in the number of inaccessible small retail units throughout the Borough</p>
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>Empowerment of planning applicants to initiate acceptable access solutions within Buildings of Special Architectural or Historic Interest.</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>Provides practical solutions to access issues, easy to obtain information and advice on access. Associated costs of adapting historic buildings can be mitigated through the increased social inclusion of disabled people</p>	<p>Reduction in the number of inaccessible buildings of special architectural or historic interest</p>
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>+</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>✓</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>✓</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>+</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>-</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>+</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>+</p>	
<p>To improve access to historic venues and the services and facilities contained within them</p>	<p>+</p>	
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<p>The following indicators will be used to monitor the implementation of the Access for All SPD Objectives</p>	<p>APPENDIX 3: Table to tests the objectives of the Access for All SPD against the SEA criteria to assess the likely impact of the SPD objectives on environmental factors The likely significant effects of the Access for All SPD objectives on the environmental factors in implementing the Access for All SPD. The table also shows the likely duration of these effects.</p>																								
	<p>Access for All SPD Sustainability Objectives</p>	<table border="1"> <tr> <td>Environmental</td> <td>+</td> </tr> <tr> <td>Economic</td> <td>+/-</td> </tr> <tr> <td>Social</td> <td>+</td> </tr> </table>	Environmental	+	Economic	+/-	Social	+																	
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Economic	+/-																								
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<table border="1"> <tr> <td>Material Assets</td> <td>+</td> </tr> <tr> <td>Landscape & Townscape</td> <td></td> </tr> <tr> <td>Cultural Heritage & Archaeology</td> <td>+</td> </tr> <tr> <td>Climatic Factors</td> <td></td> </tr> <tr> <td>Air Quality</td> <td></td> </tr> <tr> <td>Water and Soil</td> <td></td> </tr> <tr> <td>Population & Human Health</td> <td>+</td> </tr> <tr> <td>Biodiversity, Flora & Fauna</td> <td></td> </tr> <tr> <td>Long Term</td> <td>✓</td> </tr> <tr> <td>Medium Term</td> <td>✓</td> </tr> <tr> <td>Short Term</td> <td></td> </tr> </table>	Material Assets	+	Landscape & Townscape		Cultural Heritage & Archaeology	+	Climatic Factors		Air Quality		Water and Soil		Population & Human Health	+	Biodiversity, Flora & Fauna		Long Term	✓	Medium Term	✓	Short Term		<table border="1"> <tr> <td></td> <td></td> </tr> </table>		
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Appendix 4: Saved Harrow UDP policies relevant to the Access for All SPD which have been appraised (pages 16-17)

Arts, Cultural, Entertainment, Tourist and Recreational Activities

SR2 PROVISION AND IMPROVEMENT OF ARTS, CULTURAL, ENTERTAINMENT, TOURIST AND RECREATIONAL FACILITIES WILL BE ENCOURAGED. FACILITIES PROPOSED SHOULD BE:-

A) ACCESSIBLE TO ALL;

B) ACCEPTABLE IN TERMS OF THEIR ENVIRONMENTAL IMPACT, ON RESIDENTIAL AMENITY, WILDLIFE, AND TRAVEL TO AND FROM THOSE FACILITIES; AND

C) LOCATED ACCORDING TO THE FOLLOWING CRITERIA:-

- 1) HIGH INTENSITY ACTIVITIES SHOULD BE LOCATED IN TOWN CENTRES OR OTHER AREAS OF GOOD PUBLIC TRANSPORT ACCESSIBILITY.**
- 2) LOW INTENSITY ACTIVITIES OR ACTIVITIES THAT REQUIRE LARGE AREAS OF OPEN LAND BUT FEW BUILDINGS, SUCH AS GOLF COURSES, SPORTS PITCHES AND RIDING STABLES, MAY BE LOCATED WITHIN THE GREEN BELT AND METROPOLITAN OPEN LAND, PROVIDED THESE DO NOT CONFLICT WITH GREEN BELT AND METROPOLITAN OPEN LAND AIMS.**
- 3) FOR OTHER TYPES OF ACTIVITY (THOSE NOT COVERED BY THE ABOVE) PREFERENCE WILL BE GIVEN TO LOCATIONS EASILY REACHED BY PUBLIC TRANSPORT, WALKING OR CYCLING.**

Provision of Community Services

SC1 THE COUNCIL WILL SEEK TO ENSURE THE PROVISION OF APPROPRIATE AND ACCESSIBLE COMMUNITY SERVICES AND FACILITIES TO MEET THE NEEDS OF ALL WHO LIVE, WORK IN OR VISIT THE BOROUGH.

Open Space

EP47 THE COUNCIL WILL PROTECT AND WHERE APPROPRIATE ENHANCE THE BOROUGH'S OPEN SPACES, PARKS, PLAYING FIELDS AND RECREATION GROUNDS, REGARDLESS OF OWNERSHIP. DEVELOPMENT, APART FROM SMALL SCALE ANCILLARY FACILITIES NEEDED TO SUPPORT OR ENHANCE

THE PROPER FUNCTIONING OF THE OPEN SPACE, WILL NOT BE PERMITTED ON OPEN SPACES IDENTIFIED ON THE PROPOSALS MAP AND ON OTHER OPEN SPACES WITH RECREATIONAL, NATURE CONSERVATION OR AMENITY VALUE OR LOCATED IN AREAS LACKING SUCH SITES UNLESS THE SITE IS SURPLUS TO REQUIREMENTS OR SUITABLE ALTERNATIVE PROVISION IS MADE AVAILABLE.

The Standard of Design and Layout

D4 THE COUNCIL WILL EXPECT A HIGH STANDARD OF DESIGN AND LAYOUT IN ALL DEVELOPMENT PROPOSALS. THE FOLLOWING FACTORS WILL BE TAKEN INTO ACCOUNT WHEN CONSIDERING PLANNING APPLICATIONS FOR DEVELOPMENT:

- A) SITE AND SETTING;
- B) CONTEXT, SCALE AND CHARACTER;
- C) PUBLIC REALM;
- D) ENERGY EFFICIENCY, RENEWABLE ENERGY, SUSTAINABLE DESIGN AND CONSTRUCTION;
- E) LAYOUT, ACCESS AND MOVEMENT;
- F) SAFETY;
- G) LANDSCAPE AND OPEN SPACE; AND
- H) ADEQUATE REFUSE STORAGE.

THE COUNCIL WILL REQUIRE PLANNING APPLICATIONS FOR NEW-BUILD DEVELOPMENT TO INCLUDE A SUPPORTING DESIGN STATEMENT.

Shopfronts and Advertisements

D25 SHOP FRONTS, BLINDS, CANOPIES AND SECURITY SHUTTERS SHOULD RESPECT THE SCALE, PROPORTIONS, AND CHARACTER OF THE BUILDINGS OF WHICH THEY FORM PART AND SHOULD BE APPROPRIATE TO THE AREA IN WHICH THEY ARE LOCATED. THE LOSS OF ATTRACTIVE SHOP FRONTS OR HISTORIC FEATURES WILL BE RESISTED.

New Education Facilities

C7 THE COUNCIL WILL SEEK TO ENSURE THAT APPROPRIATE EDUCATION FACILITIES ARE PROVIDED. IN CONSIDERING PROPOSALS FOR NEW SCHOOLS OR THE EXPANSION OF EXISTING ONES, THE FOLLOWING CRITERIA WILL BE TAKEN INTO ACCOUNT:

- A) THE LOCAL POPULATION AND THE NEED FOR NEW EDUCATION FACILITIES IN THE AREA;
- B) ACCESSIBILITY OF THE SITE WITH REGARD TO ITS CATCHMENT AREA AND TO PUBLIC TRANSPORT, PAYING PARTICULAR REGARD TO ENSURING THAT THE SITE IS READILY ACCESSIBLE BY NON-CAR MODES AND INTEGRATED INTO THE SURROUNDING AREA; AND
- C) THE AVAILABILITY OF SAFE SETTING-DOWN AND PICKING-UP POINTS WITHIN THE SCHOOL SITE.

Doctor's Surgeries

C9 IN CONSIDERING A PLANNING APPLICATION FOR :-

- A) THE CHANGE OF USE OF RESIDENTIAL PREMISES TO A GENERAL MEDICAL PRACTITIONERS' SURGERY; AND/OR
- B) EXTENSIONS TO RESIDENTIAL PREMISES BEING USED OR TO BE USED AS A GENERAL MEDICAL PRACTITIONERS' SURGERY, THE FOLLOWING CRITERIA MUST BE MET:-
 - 1) THE PROPOSAL SHOULD NOT HAVE AN ADVERSE IMPACT ON THE AMENITY OF NEIGHBOURING RESIDENTS OR THE CHARACTER OF THE LOCALITY;
 - 2) ADEQUATE PARKING SET OUT IN A VISUALLY ACCEPTABLE MANNER AND WITHOUT ADVERSE EFFECTS ON HIGHWAY SAFETY AND MOVEMENT MUST BE PROVIDED; AND
 - 3) THE PREMISES SHOULD BE EASILY ACCESSIBLE TO THE USERS.

Access to Buildings and Public Spaces

C16 THE COUNCIL WILL SEEK TO ENSURE THAT BUILDINGS AS WELL AS PUBLIC SPACES ARE READILY ACCESSIBLE TO ALL, PARTICULARLY ELDERLY PEOPLE AND DISABLED PEOPLE, INCLUDING WHEELCHAIR USERS. DEVELOPMENT PROPOSALS SHOULD BE ADEQUATELY DESIGNED TO ACCOMMODATE THE NEEDS OF ALL USERS.

Access to Leisure, Recreation, Community and Retail Facilities

C17 THE COUNCIL WILL SEEK TO ENSURE THAT ALL DEVELOPMENT RELATING TO RETAIL FACILITIES, LEISURE, RECREATION AND OTHER SERVICES ADEQUATELY ADDRESS THE NEEDS OF DISABLED PEOPLE, PARENTS WITH CHILDREN, THE ELDERLY AND OTHER PEOPLE WITH SPECIAL NEEDS.

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Meeting:	Strategic Planning Advisory Panel
Date:	14 th March 2006
Subject:	Draft Accessible Homes Supplementary Planning Document (SPD) and accompanying Sustainability Appraisal (SA) – consideration of responses to the statutory consultation
Responsible Officer:	Executive Director (Urban Living)
Contact Officers:	Ali Kashmiri, Access Officer Sukhpreet Khull, Planner
Portfolio Holder:	Planning, Development and Housing
Key Decision:	No
Status:	Public

Section 1: Summary

The Accessible Homes SPD has been through two rounds of consultation. The initial informal four weeks consultation period on the draft SPD began on the 16th September 2005 and ended on the 14th October 2005. Necessary changes were made to the documents before they were subject to statutory consultation between the 2nd December and 30th December 2005.

During the statutory consultation stage, the main alterations required to be undertaken to the SPD have been the further clarification of policy content, and expansion of the explanation of the difference between Lifetime Homes and Wheelchair Accessible Homes. There have also been changes in the grammar, colour and design of the SPD to achieve easier customer reading of the document. The accompanying SA report has been finalised to reflect the development of the SPD. This report informs the Panel of the comments/representations received and highlights how necessary changes to the two documents have been made.

The Panel are asked to recommend that the Portfolio Holder agrees the content of the final documents which now are at the adoption stage. The Council is also required to publish a summary report entitled the 'consultation statement' which

summarises the comments/representations that were received and what action has been taken in response. Details of the comments and proposed changes can be seen in the consultation statement (Appendix 1). The adoption statement is also attached (see Appendix 2).

Decision Required

The Panel is invited to: -

- i) Agree the proposed changes to be made to the draft Accessible Homes Supplementary Planning Document (SPD) and its accompanying Sustainability Appraisal Report (SA) following consideration of representations received as detailed within the Consultation Statement, Appendix 1.
- ii) Recommend that the Portfolio Holder clear and agree the Accessible Home SPD and its accompanying SA Report.
- iii) Recommend that the Portfolio Holder adopt the Accessible Home SPD and its accompanying SA Report. (See Appendix 2-Adoption Statement).

Reason for report

Consideration of representations received represents the last stage prior to the adoption of the Accessible Homes SPD.

A key objective of the Accessible Homes SPD is to demonstrate the links between the Council's planning process, government planning policy and nationally recognised housing standards. The Accessible Homes SPD supports the principles of sustainable design, by actively discouraging design that potentially involves future costly and disruptive adaptations. Furthermore, the SPD actively demonstrates that homes which are ostensibly mainstream in design, can also be accessible to wheelchair users. The SPD introduces design trends which encourage improved social inclusion of disabled people through accessible housing that is integrated across the whole borough.

Benefits

The SPD will ensure that new residential developments, including conversions and extensions, are of good quality in order to maintain and enhance the residential component and character of the Borough. More importantly it aims to provide and retain a range of housing types and sizes, of a high standard and design, to meet the varied physical and economic needs of the Borough's residents.

Cost of Proposals

The cost of producing the SPD and associated SA will be met within the approved Planning Services budget.

Risks

Failure to carry out the procedures set down in the Planning and Compulsory Purchase Act 2004 and Regulations would render the Council open to legal challenge. Delay in meeting the Local Development Scheme (LDS) timetable milestones may also lead to a reduction in the Planning Delivery Grant (PDG).

Implications if recommendations rejected

This will lead to a failure to meet the approved LDS timetable milestone.

Section 2: Report

2.1 Brief History

The title of the Accessible Homes SPD was previously Mobility and Wheelchair Housing SPD and the re-naming of the SPD was proposed for at the time of adoption. This change was outlined in the Annual Monitoring Report (AMR) and agreed by the Government Office for London (GoL). The previous title Mobility and Wheelchair Housing was considered out-dated and out of step with current terminology. The new title is a more accurate representation of the subject matter of the document and will reflect the relevant Policy title in the Unitary Development Plan.

Statutory consultation on the draft Accessible Homes SPD and its accompanying sustainability appraisal took place for 4 weeks from 2nd December 2005 to 30th December 2005. Eight responses were received on the SPD. Comments were received from the following bodies: -

STATUTORY ENVIRONMENTAL AUTHORITIES REPRESENTATIONS

1. Environment Agency (Tricia Lloyd)
2. The Countryside Agency (Landscape Access Recreation –LAR) (David Hammond)

EXTERNAL ORGANISATIONS & INDIVIDUAL REPRESENTATIONS

3. RPS Planning on behalf of Fairview New Homes Ltd (John Wachter)
4. Jewish Community Housing Association Ltd (Albert Samuelson)
5. Harrow Churches Housing Association (R.E Goodman)
6. George Wimpey West London (W.G Luck)
7. Access Consultant (Jacqueline Lockyer)
8. Graham Nickson

IN-HOUSE REPRESENTATIONS

Access Officer
Urban Designer
Graphic Designer
Planner
Legal

A summary of the responses received and the suggested changes made to the two documents can be seen in Appendix 1- Consultation Statement. References to new page numbers are made to demonstrate where the changes have been incorporated.

Next stages

Having considered the responses and agreed any necessary changes, the Accessible Homes SPD and Sustainability Appraisal report now require adoption.

2.2 Options considered

The LDS agreed by Cabinet on 23rd June 2005 identified production of an SPD as being the most appropriate option in Harrow.

2.3 Consultation

The initial community engagement and statutory consultation stages for producing this SPD have followed the appropriate procedures and timetable as set down in the approved LDS, and including the means of engagement set down in the draft Statement of Community Involvement (SCI).

2.4 Financial Implications

Costs are contained within the approved Departmental budget.

2.5 Legal Implications

Once adopted, the authority should include the Accessible Homes SPD in the LDF as it will form part of the planning framework for the area. It will not be subject to independent examination and will not form part of the statutory development plan, however the authority should carry out the same publicity process for the adopted SPD as applies to a DPD. The authority must also include with the SPD a statement of the consultation undertaken, the representations received and their response to those representations, together with a copy of the final statement of sustainability appraisal.

2.6 Equalities Impact

Both the SPD and SA promote equality of opportunity and social inclusion.

Section 3: Supporting Information/Background Documents

Background Documents:

Accessible Homes SPD and Sustainability Appraisal

CONSULTATION STATEMENT

Accessible Homes Supplementary Planning Document¹

This consultation statement is required in connection with the preparation of Harrow's Accessible Homes Supplementary Planning Document (SPD), in accordance with Regulation 17 (2) (b) of the Town and Country Planning (Local Development) England Regulations 2004. It demonstrates whom and how the Council has engaged in the early stages of preparing the SPD and its accompanying Sustainability Appraisal (SA), and how the issues have been addressed in the adopted SPD/SA.

The statement contains the following information:

- i) the names of the organisations whom the Council consulted in connection with the preparation of the SPD;
- ii) how those organisations were consulted;
- iii) a summary of the main issues raised in those consultations; and
- iv) how those issues have been addressed in the SPD/SA.

Initial consultation on the draft Accessible Homes SPD took place over a four-week period in September and October 2005. Statutory consultation took place in December 2005 (2nd-30th December 2005).

The following organisations were sent a copy of and invited to comment on the draft SPD and Sustainability Appraisal (SA) Scoping Report:

Shopmobility	Family Housing Association
Harrow Association of Voluntary Services	Genesis Housing Group
Access Association	Haig Homes
Disabled Foundation	Hanover Housing Association
Harrow Crossroads	Harrow Churches Housing Association
Harrow Association of Disabled People	Home Group Limited
Harrow Carers Centre	Housing 21
Harrow Early Years and Childcare	Innisfree Housing Association

1

The title of the Accessible Homes SPD was previously Mobility and Wheelchair Housing SPD and the re-naming of the SPD was proposed for at the time of adoption. This change was outlined in the Annual Monitoring Report (AMR) and agreed by the Government Office for London (GoL). The previous title Mobility and Wheelchair Housing was considered out-dated and out of step with current terminology. The new title is a more accurate representation of the subject matter of the document and will reflect the relevant Policy title in the Unitary Development Plan.

Services	
Harrow Leisure Centre	Inquilab Housing Association Limited
Harrow Mencap	John Grooms Housing Association
Mind in Harrow	Metropolitan Housing Trust Limited
MS Society	New Era Housing Association Limited
Community Link Up	Paradigm Housing Group
Greater London Action on Disability	Peabody Trust
British Council of Disabled People	Pinner House Society
Royal National Institute for the Blind	Sanctuary Housing Association
Royal National Institute for the Deaf	Shepherds Bush Housing Association Limited
People First	Stadium Housing Association Limited
Sport England	Stanmore Christian Housing Association Limited
Disability Awareness in Action	The Abbeyfield Harrow Society Limited
Disability Rights Commission	The Guinness Trust
National Centre for Independent Living	Warden Housing Association Limited
Government Office for London	Women's Pioneer Housing Limited
Greater London Authority	Barratt Homes North London
Environment Agency	Bellway Homes North London
English Nature	Berkeley Homes West London
Countryside Agency	Bovis Homes South East Region
English Heritage	Bryant Homes London
Highways Agency	Clearview Homes Ltd
London Borough of Hillingdon	Crest Partnership Homes Ltd
London Borough of Ealing	Fairclough Homes Northern Home Counties
London Borough of Hounslow	George Wimpey North London Ltd
London Borough of Brent	George Wimpey West London Ltd
London Borough of Hammersmith & Fulham	Goldcrest Homes plc
London Borough of Barnet	Home Builders Federation
Hertsmere Borough Council	Laing Homes North Thames
Three Rivers District Council	Martin Grant Homes (UK) Ltd
Hertfordshire County Council	McCarthy & Stone Developments Ltd
Elstree and Borehamwood Town Council	Rialto Homes Plc
Watford Rural Parish Council	St. James Homes Ltd
Commission for Architecture and the Built Environment	Joseph Rowntree Foundation
Anchor Trust	Dominion Housing Group
Apna Ghar Housing Association Limited	Ealing Family Housing Association Limited
ASRA Greater London Housing Association Limited	English Churches Housing Group
Bnai Brith JBG Housing Association Limited	

The draft SPD and SA Scoping Report were also placed on the Council's website (see actual website notice below and note that the SPD is referred to by its previous title) and made available for inspection at Planning Reception.

Mobility and Wheelchair Housing Supplementary Planning Document (SPD) and accompanying Sustainability Appraisal (SA) report (December)

The Council is producing a Supplementary Planning Document (SPD) entitled 'Mobility and Wheelchair Housing' which elaborates upon the application of access-related housing policies in the adopted Harrow Unitary Development Plan. An important stage in producing the SPD is undertaking formal statutory community engagement in order to finalise the content of the document. You are invited to comment on the Mobility and Wheelchair Housing SPD and the Sustainability Appraisal report that accompanies it. The consultation period starts on Friday 2nd December 2005 and comments should be received no later than 5pm on Friday 30th December 2005.

Copies of the [Mobility and Wheelchair Housing SPD](#) and the accompanying [Sustainability Appraisal Report](#) are available. A [text only](#) version of the SPD is available for those wishing to access the document electronically or create a personalised printed copy. Copies are also available for inspection at Planning Reception, Garden House, 5 St. John's Road, Harrow, HA1 2EE. Your comments should be made on the [standard response form](#). For more information, or to request a copy, please contact Ali Kashmiri on 020 8736 6611 or Sukhpreet Khull on 020 8736 6086, or by e-mail ali.kashmiri@harrow.gov.uk.

In addition to the external consultation process, the draft SPD and SA Scoping Report were also circulated to relevant internal Council staff inviting comments relating to their particular areas of expertise.

Summary of the main issues raised:

Representati on Number	Individual/ Organisation	Summary of representation/issue	How the issues raised have been addressed in the SPD
STATUTORY CONSULTATION AUTHORITIES REPRESENTATIONS			
1	Tricia Lloyd – Environment Agency	Environment Agency has no comments to make on these proposals	No changes necessary.
2	David Hammond-The Countryside Agency (Landscape Access Recreation –LAR)	<ul style="list-style-type: none"> Mention is made to the fact that the Countryside Agency has focussed its planning activity on interests relating to landscape, access and recreation (LAR). They mention that they previously responded to the SPD and SA and that they have nothing further to add to their previous correspondence. 	<p>Noted.</p> <p>Previous points considered and incorporated into the development of the documents.</p>
EXTERNAL ORGANISATIONS & PEOPLE REPRESENTATIONS			
3	John Wachter – RPS Planning (on behalf of Fairview New Homes Ltd)	<ul style="list-style-type: none"> Access statements should not be required for all planning applications. They feel this places unnecessary burden on applicants and should only be required for larger residential schemes in which provision of Lifetime Homes and Wheelchair Housing is a requirement. 	<p>Planning and Access for Disabled People: 'A Good Practice Guide', ODPM: March 2003, states that local planning authorities should require Access Statements as part of the development process. The exact content of the Access Statement will depend upon the size of the development proposal. A detailed Guidance Note explaining how to write an access statement, will be included in planning application packs.</p>

		<ul style="list-style-type: none"> • Objection to Wheelchair Standard Homes (WSH) being evenly distributed throughout a residential development. They consider this unreasonable for smaller scale developments where it is impractical to distribute the WSH. They suggest a flexible approach should be discussed and negotiated on the merits of each case. • Fairview would like it made clear that the detailed design considerations included in the document offer guidance options for consideration by applicants. Adequate flexibility should be incorporated into the document so that detailed design of lifetime and WSH can be determined by applicants in response to a range of site-specific characteristics that need to be taken into account when designing a proposal. Specific references to requirements should carry the caveat "Consideration should...." Or "should normally..." <ul style="list-style-type: none"> • Fairview would like to be noted as an interested party in the progression of the LDF 	<p>Page 5 & 6 To facilitate the social interaction of disabled people and to avoid the possibility of creating 'disability ghettos' and residents falling victim to targeted hate crime, it is necessary to evenly distribute wheelchair accessible homes within developments. The document has however, been altered to emphasise the negotiation element for partnership working between the council and housing developers.</p> <p>Lifetime Homes are nationally recognised standards that have been embraced by Government legislation and more recently, the Mayor for London's Spatial Development Strategy. Standards are not standards if they are not adhered to. The Wheelchair Standard Home design guidance has been compiled by reference to the Scheme Development Standards and Wheelchair Standard Housing Guide, published in 1997.</p> <p>No changes are therefore proposed.</p>
3	Albert Samuelson – Jewish Community Housing Association	<ul style="list-style-type: none"> • SPD Appendix 1 Environmental Assessment Para 2 – They cannot see that there will be any reduction in applications for 	<p>The purpose of the SPD is not to reduce the amount of Disabled Facilities Grant to disabled people living in existing homes.</p>

		<p>DFG</p> <ul style="list-style-type: none"> • SPD should show greater joined up thinking on provision of DFG to tenants who do not want to move. • Policy should recognise considerable demand for adaptations that do not require new build or wholesale reconfiguration. 	<p>DFG is ring-fenced funding paid by central Government, through Local Authorities. Providing accessible homes will in the long term eliminate the need to carry out extensive alterations to private dwellings and therefore will reduce overall DFG expenditure. No changes are therefore proposed.</p>
4	R.E Goodman-Harrow Churches Housing Association	The Association fully supports both documents	No changes required.
5	W G Luck – George Wimpey West London	<p>“The provision of 100% lifetime homes is wasteful of limited land resources in that smaller dwellings such as 2 bedroom homes would have to be up to 30% larger with an increased frontage reducing the achievable. All other dwellings would have to be increase in size to a lesser degree the implication is that all blocks of flats should be provided with lifts, an enormous extra cost at a time when the government is seeking a reduction in construction costs. Lifetime homes is a costly and wasteful policy when most people will be likely to trade down to more appropriate accommodation at the time.”</p>	<p>Page 15 - According to independent research commissioned by the Joseph Rowntree Foundation around 1997, buildings to Lifetime Home Standards does not adversely affect high density development, if designed accurately. Designing Lifetime Homes (written by Kim Sangster) demonstrates a number of ways in which features can be incorporated into virtually any type of home. (Drawings illustrate dwellings with narrow frontages.) Example plan layouts have been redrawn accordingly.</p> <p>Developers need to be clear about Lifetime Home criteria and should not confuse the Standards with Wheelchair Standard Housing. In an effort to provide clarity, the two sets of standards are now presented on separate pages, from page 20 - 37</p> <p>New page 11 inserted to provide clarity on what a Lifetime Home is not.</p>

6	<p>Jaqueline Lockyer- Access Consultant</p>	<p>Front Cover</p> <ul style="list-style-type: none"> • The white text does not contrast in luminance well enough to provide assistance to visually impaired readers. Is it possible to edge the text with perhaps yellow? • The reflective nature of the paper used may inhibit access for some readers • Font and font size to be made accessible throughout document. 	<p>Comments from the National Register of Access Consultants Auditor were incorporated into the document..</p> <p>Front cover has been text adjusted to provide good colour contrast.</p> <p>Non-reflective paper will identified at the final printing stage.</p> <p>Page removed HOW TO COMMENT - Final document cannot be commented on.</p> <p>Font size adjusted throughout the document, including annotation</p> <p>WRITTEN AND PRODUCED BY - Add Jacqueline Lockyer – NRAC accredited, consultant to end of Acknowledgements list.</p> <p>PAGE REQUESTING SUMMARY/OWN LANGUAGE - Moved to inside front cover and increased to a font size 14 equivalent.</p>

	<p>Page 1 Forward</p> <ul style="list-style-type: none"> In the first paragraph the words old age can be changed to “age”, as it is the ageing process rather than old age that creates difficulties .The London Plan uses the term older people and is a little kinder. <p>Page 4-5 Planning Policy Context The text in the green box has been justified to neaten. Justified text may create difficulties for some people with vision impairments.</p> <p>Page 6-7 The Layout diagram would benefit from bolder text, as the existing text is not really distinguishable from the diagram.</p> <p>Page 8-9 There is a typo on item 15. This should read 800mm from the floor. The section diagrams are very difficult to interpret. There is a suggestion that the steps lead from the front door to a raised lounge at the rear. There is very little real colour contrast to the diagrams and I think that it was a mistake to make the sitting room carpet the same colour as the external grass. These diagrams would benefit from greater colour contrast, 100% enlargement, and possibly a numbered key.</p>	<p>Page 1 – terminology and meaning altered in paragraph one. Now reads “...irrespective of disability, age or changes in lifestyles” .</p> <p>Page 4 – the policy aged H18 text has been left aligned within the box.</p> <p>Page 7 – the diagram has been read redrawn and the associated text has been reworded and made distinguishable from the diagram.</p> <p>Page 10 – the Lifetime Homes diagram has been adjusted in principle with these observations.</p>
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		<p>Page 10-11 Diagrams here offer improved colour contrast. Again sections are cluttered and would benefit from 100% enlargement and a numbered key.</p> <p>Page 12-13 The solid walls to the plans are visually accessible. However the detail printed in pale olive green is very, very difficult to distinguish under normal lighting conditions. Additionally the informing text accompanying the diagrams is impossible to read under normal circumstances (I needed a magnifying glass)</p> <p>Page 14-15 (See comments for pages 12 and 13) additionally the text contrasts poorly against some of the backgrounds notably the building and path .I think that the parking situation could be clearer. Are these paths running through the car park or additional space for transfer?</p> <p>Page 16-17 Is it possible to indicate a letterbox type and height suitable for use by a wheelchair user in the diagram?</p>	<p>Page removed – serving no useful purpose</p> <p>Page 15,17 &19 – Diagrams redrawn to accurately reflect and support the guidance. Improvements have been made to the general readability of all example plan layouts.</p> <p>Page 15,17 &19 – Diagrams redrawn to accurately reflect and support the guidance. Improvements have been made to the general readability of all example plan layouts.</p> <p>Page 23 – a letterbox has been incorporated into the picture</p>
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Page 18-19

Communal areas within blocks of flats should ensure:

- A wheelchair accessible passenger lift of 1100 x 1400mm is provided.
- Communal stairs are designed in accordance with the standards set out in BS 8300. There should be 900mm clear distance between stair wall and the edge of the opposite handrail/banister, to allow for installation of a stair or platform lift.
- Lifts, stairwells and entrance doors should be located at the front of blocks of flats.
- A corridor width of at least 1500mm.
- A wheelchair accessible passenger lift of at least 1100 x 1400mm is provided.
- That stairs are designed in accordance with the standards set out in BS 8300.

The lifetime homes criteria on page 19 have not been bullet pointed. Is this deliberate?

Page 20-21

The fitted hand basin in the illustration has a pedestal and would not, as you know, be that accessible to wheelchair users. Can this be replaced with an illustration of a cantilever sink?

Page 25 – the page has been reworded to provide clarity.

Page 28 – the pedestal has been removed from the handbasin featured in the picture.

		<p>Page 22-23 handles on the kitchen units do not reflect best practice.</p> <p>Page 24-25 Second bullet point should read provide an adequate turning space Third bullet point should read or temporary location of the bed. Fifth bullet point offers the American spelling of the word manoeuvrability. Wheelchair standard home bullet point five should read... Should have a bathroom designed to BS8300, providing en suite facilities to the main bedroom.</p>	<p>Page 30 – handles have been incorporated into the picture.</p> <p>The entire document has being proofread and reworded accordingly</p>
7	Graham Nickson – John Grooms Housing Association	<p>Within the introduction we think it would be helpful to emphasise that while the lifetime homes standard is a good basic minimum, there are specific and relevant differences with wheelchair housing. This may seem a little over sensitive but a surprising number of developers and house builders do confuse the two.</p> <p>Planning Policy Context</p> <p>We are concerned that Policy H18 is far too subjective and open to interpretation. This is an issue because for new housing to meet the Lifetime Home or Wheelchair standards extra investment is required from the housing</p>	<p><i>(Comments provided by legal)</i></p> <p>Page 4 - Remove “The purpose of this SPD is in supplement Policy H18 Accessible Homes in the saved Harrow Unitary Development Plan (HUDP adopted July 2004). The policy is set out in Section 1.”</p>

		<p>developer. As many developers are concerned about maximising their profit from a proposed housing development, they will interpret the policy requirements in the minimum way possible. We have noted such an approach to housing developments within other local authorities in London.</p> <p>As is noted within the accompanying text to Policy H18 (pages 4 and 5), the London Plan insists that all new housing is built to Lifetime Homes Standards and that 10% should be wheelchair accessible or easily adaptable. These standards are measurable. However Policy H18 states that the provisions will only apply to a 'proportion' within 'larger residential schemes' - terms that are open to a wide variety of interpretation. JGHA would therefore question whether Policy H18 is really 'in-line' (p4) with the London Plan as claimed within the SPD.</p> <p>It is the policy that will be quoted by any developers who apply only minimum standards to their housing development rather than the accompanying text under 'Application of Policies'(p5). Even here, there are policy provisions which deviate from the London Plan. Under the sub heading of 'New Homes' the SPD discusses the application of the policy framework such that only 10 wheelchair standard properties can be built within any one development. Why only 10?</p>	<p>Replace with "The purpose of this SPD is to supplement the policies in the Development Plan. The Development Plan comprises the Harrow Unitary Development Plan (adopted July 2004) and the London Plan (adopted February 2004).</p> <p>Remove bottom paragraph on role of SPD in Harrow Unitary Development Plan.</p> <p>Page 5 – APPLICATION OF POLICIES – add sentence "This SPD is supplementary to Policy H18 of the Harrow Unitary Development Plan (HUDP) and London Plan Policy 3A.4."</p> <p>NEW HOMES – Remove "In-line with the adopted policy" and replace with "In-line with the Development Plan policies,"</p> <p>Alter heading "Existing Homes" to read "Residential Conversions".</p> <p>Supplementary planning documents cannot surpass the requirements of the policy on which they are based.</p>
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It may well be that the distribution of available land within Harrow can only accommodate housing developments which are a maximum of 100 units. If so why is this not stated rather than a numerical maximum which goes against the objective of promoting mixed and inclusive communities?

Detailed Comments

In the hope that the above concerns can be resolved our comments on the design aspects of the draft SPD are as follows. Can we reiterate our support for the objective of supporting house builders, developers and architects to produce more Lifetime and Wheelchair Standard Homes.

Within the 'Detailed Design Considerations' section of the SPD we have concentrated on the wheelchair standards as that is our area of speciality. We have suggested additional small paragraphs which should be added to the existing text in the SPD

Car parking - Wheelchair Standard Home (p15)

- * Hard standing should be level, allowing minimum fall for drainage to allow safe transfer between car and wheelchair. Gullies and drains must not cause hazards to wheelchairs or walking aids. In exposed locations a side protection (fence or wall)

Page 20-37 – all detailed comments received from John Grooms have been incorporated

		<p>should be provided.</p> <ul style="list-style-type: none"> * All parking spaces should be located with natural surveillance so as to design out crime. Where carports cannot be located with the dwelling entrance they should not be more than 30m away via level or gently sloping access. <p>Approaches and entrances - Wheelchair Standard Home (p17)</p> <ul style="list-style-type: none"> * External paths should provide hard surfaces which are non-slip, easy to maintain, hard wearing and adequately drained. Attention must be paid to ensuring that slopes have good grip for wheelchair tyres in poor weather conditions. * Good external lighting is required on pathways and parking areas controlled by solar time clocks. Individual entrances should be well lit with lighting controlled by passive infra-red sensors in addition to internal switching. * Adequate refuse disposal should be provided which is wheelchair accessible. * Easy to maintain garden areas are of primary importance where they are integral with the proposed dwelling. * In housing developments where 	
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		<p>residents do not have access to individual gardens, screened drying areas should be provided. These must include adjustable height rotary dryers which can be lowered.</p> <ul style="list-style-type: none"> * A patio area should be provided in gardens with secondary external doors. Ideally they should be linked with a main path to provide a safe means of escape for the wheelchair user. Minimum size of the patio should be 3m x 3m. * Door entry areas need to be carefully detailed to prevent the ingress of rainwater and easy access to door locks for the wheelchair user. * The design and specification of damp proofing must allow for external ground level and internal finished floor levels that are the same around the property. This will avoid the need for significant ramps. * All wheelchair standard dwellings should have a ventilated area for charging and storing an electronically powered wheelchair. A minimum size of 1200mm x 1200mm x 700mm with an adjacent unobstructed transfer area are required. Access should be from the long side. The charging area's location should allow high level passive ventilation with mechanical ventilation only if this is not possible.
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		<p>WC's, Showers and Bathrooms - Wheelchair Standard Home (p20)</p> <ul style="list-style-type: none"> * The bathroom/shower room is the most important room in the house for many disabled people as the ability to live independently can succeed or fail on reasonable provision for personal hygiene. * For a wheelchair standard house the bathroom should be located next to the main bedroom with either a storey height knock out panel or folding/sliding doors to allow easy access for a wheelchair user. <p>Kitchens - Wheelchair Standard Home (p22)</p> <ul style="list-style-type: none"> * At design stage it is often not known if the wheelchair user or non-disabled member of the household will use the kitchen. Therefore the kitchen design must allow for easy adjustment when the occupying household is identified as a tenant or purchaser. Care must also be taken in the relationship between various units to allow for the safe transference of pans etc with unobstructed knee space. <p>Living Rooms - Wheelchair Standard Home (p24)</p>	
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		<p>* A secondary entrance is often best located here to allow the living area to be 'extended' into the garden via the patio noted on page 17. Unless a separate dining area is identified, a defined dining space with adequate circulation routes should be allowed. The living room should not be a through route to other rooms.</p> <p>Fixtures and Fittings - Wheelchair Standard Home (p26)</p> <p>* It is recommended that electrical sockets are positioned 750mm above floor level (except for those for appliances such as a washing machine) and at least 600mm from a wall intersection.</p> <p>* Each dwelling should have a telephone point in the living room, main bedroom and second bedroom. Telephone points should be adjacent to power points for lifeline connection.</p>	
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Accessible Homes Supplementary Planning Document Adoption Statement

This statement has been prepared in accordance with Regulation 19 (a) of The Town and Country Planning (Local Development) (England) Regulations 2004 and gives notice that Harrow Council's Accessible Homes Supplementary Planning Document (SPD) was formally adopted on ? March 2006.

The Accessible Homes SPD sets out how the Council will ensure that access considerations form an integral part of residential development in the Borough. It will ensure that new residential development and conversions are accessible to everyone. The SPD is now a material consideration in the assessment and determination of any planning applications. In addition, appended to the SPD are the Sustainability Appraisal and Consultation Statement. The SPD will now be subject to the monitoring process that is required under the Planning and Compulsory Purchase Act 2004. In light of the continuing development of the Council's Core Strategy and Overarching Sustainability Appraisal report, it is proposed that the SPD will be reviewed by the Council within 12 months.

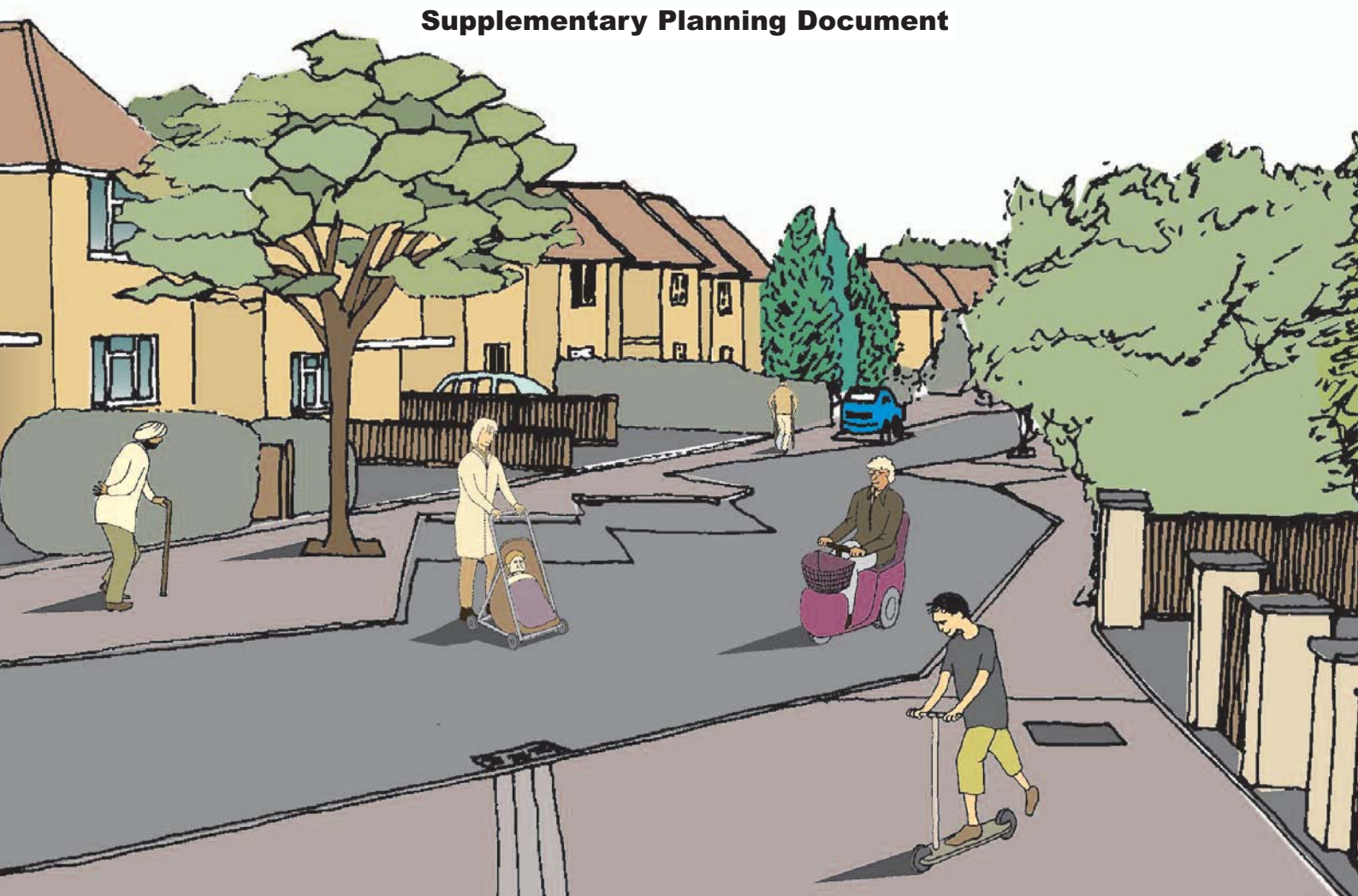
The Consultation Statement contains the main issues derived from the consultation processes which preceded the adoption of the SPD and how these were addressed in the adopted SPD. It details a list of consultees included in the SPD consultations. Appendix.

Any person who feels aggrieved by the decision of the Council to adopt the Harrow Council Accessible Homes SPD may apply to the High Court for permission to apply for a judicial review of the decision to adopt the SPD. Any challenge must be made on the grounds that the document has not been prepared in accordance with Planning and Compulsory Purchase Act 2004 or alternatively that a requirement of the Act or associated Regulations have not been complied with. Any such application must be made no later than 3 months after the date of adoption specified above.

Contact Details	
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Publishing Date:	? March 2006

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Supplementary Planning Document



Accessible Homes

Supplementary Planning Document

A guide to well-designed Lifetime
and Wheelchair Standard Homes





Please call the number below for a large print version of this document, or a summary of this document in your language.

- Albanian** Nëqoftëse gjuha Angleze nuk është gjuha juaj e parë, dhe keni nevojë për përkthimin e informatave të përmbajtura në këtë dokumentë, ju lutemi kontaktoni numërin dhënë.
- Arabic** اذا كانت الانجليزية ليست لغتك الاولى وتحتاج لترجمة معلومات هذه الوثيقة، الرجاء الاتصال على رقم
- Bengali** যদি ইংরেজি আপনার মাতৃভাষা না হয় এবং আপনি যদি এই প্রচারপত্রের তথ্যগুলোর অনুবাদ পেতে চান তাহলে যে টেলিফোন নম্বর দেওয়া আছে সেখানে দয়া করে যোগাযোগ করুন।
- Chinese** 如果你主要說用的語言不是英語而需要將這份文件的內容翻譯成中文，請打註明的電話號碼提出這個要求。
- Farsi** اگر انگلیسی زبان اول شما نیست و شما نیاز به ترجمه اطلاعات موجود در این مدرک را دارید، لطفاً با شماره داده شده تماس بگیرید.
- Gujarati** જો ઈંગ્લિશ તમારી પ્રથમ ભાષા ન હોય અને આ દસ્તાવેજમાં રહેલ માહિતીનો તરજૂમો (ટ્રાન્સલેશન) તમને જોઈતો હોય તો કૃપા કરી જણાવેલ નંબર ઉપર ફોન કરો.
- Hindi** यदि आपको अंग्रेज़ी समझ नहीं आती और आपको इस दस्तावेज़ में दी गई जानकारी का अनुवाद हिन्दी में चाहिए तो कृपया दिए गए नंबर पर फोन करें।
- Panjabi** ਜੇ ਤੁਹਾਨੂੰ ਅੰਗਰੇਜ਼ੀ ਸਮਝ ਨਹੀਂ ਆਉਂਦੀ ਤੇ ਤੁਹਾਨੂੰ ਇਸ ਦਸਤਾਵੇਜ਼ ਵਿਚ ਦਿੱਤੀ ਗਈ ਜਾਣਕਾਰੀ ਦਾ ਤਰਜਮਾ ਪੰਜਾਬੀ ਵਿਚ ਚਾਹੀਦਾ ਹੈ ਤਾਂ ਕਿਰਪਾ ਕਰਕੇ ਦਿੱਤੇ ਗਏ ਨੰਬਰ ਤੇ ਫੋਨ ਕਰੋ।
- Somali** Haddii Ingiriisku uusan ahayn afkaaga koowaad aadna u baahan tahay turjumidda xog ku jirta dokumentigan fadlan la xiriir lambarka lagu siiyey.
- Tamil** ஆங்கிலம் உங்கள் தாய்மொழியாக இல்லாதிருந்து இப்பத்திரத்திலிருக்கும் தகவலின் மொழிபெயர்ப்பு உங்களுக்கு தேவைப்பட்டால் தயவுசெய்து தரப்பட்ட தொலைபேசி எண்ணில் தொடர்பு கொள்ளவும்.
- Urdu** اگر انگریزی آپ کی مادری زبان نہیں ہے اور آپ کو اس دستاویز میں دی گئی معلومات کا اردو ترجمہ درکار ہے، تو براؤ کر مہینے گئے نمبر پر رابطہ کریں۔

020 8736 6180

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for their assistance.

Foreword



Andy Parsons

Andy Parsons
Group Manager,
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With demand increasing for living accommodation that truly embraces the needs of our diverse community, Harrow Council is driving forward its commitment to promote homes which meet the demands of people, throughout their lifetime, irrespective of disability, age or changes in lifestyles.

In today's world it is difficult to perceive a public place that is successful if it is not accessible to everyone. Likewise, when we consider people, their houses, and their living requirements as a primary concern, we come to realise that successful and sustainable communities are achieved only by making access considerations a pre-requisite of good design.

In recognising the social and economic benefits that accessible homes bring to the community, Harrow Council will only encourage development that support the principles of access as an integral part of the whole design. With concerted effort and teamwork, accessible developments that are attractive, profitable and fit for 21st century living, can be built to serve the entire community.

Introduction

Government legislation requires Harrow Council to ensure that new residential developments meet the needs of most householders. These design features provide for a home, which is flexible enough to meet whatever comes along in life: pregnancy and young children, carrying in heavy loads, debilitating illness, or the limitations of getting older. Harrow Council is fully committed to the principle of producing well-designed homes and therefore, will not support development applications for new homes that potentially involve major adaptation.

The aim of this guide is to highlight the most important principles in designing accessible homes and is particularly aimed at architects, developers and builders of a range of residential developments. Produced as a

Supplementary Planning Document (SPD), this guide seeks to illustrate the best ways to achieve well-designed accessible homes, that seamlessly integrate with the surrounding area, by illustrating examples of homes that are 'universal' in their appeal and application.

When designing new homes, it is now necessary to take account of three sets of requirements:

- Part M to the Building Regulations
- Lifetime Home standards
- Wheelchair Standard Housing

The requirements of all three design standards are broadly similar, inasmuch as they seek to achieve inclusive and adaptable homes.

- Part M to the Building Regulations, 2004 - enable a wheelchair user to visit, but not occupy a home.
- Lifetime Homes - have built-in flexibility and can be easily adapted, without the need for structural alterations.
- Wheelchair Standard Homes - are particularly spacious and built fully-equipped for wheelchair users.

Harrow Council welcomes pre-application discussions with architects and developers, as accessible design is key to meeting planning application requirements.

Planning Applications

Lifetime Home standards involve only minor additions to Part M, and can be achieved without increasing building costs, or creating an adverse effect on high-density and/or narrow frontage developments. The council will therefore require all housing developments, as far as practicable, to meet the minimum requirements of Lifetime Home standards. In addition, the council will require 10% of all new housing, up to a maximum of 10 in any one development, to meet Wheelchair Housing standards.

Planning Policy Context

This Accessible Homes SPD is accompanied by a Sustainability Appraisal [SA] Report, which provides the necessary background regarding the social, environmental and economic considerations which have been applied throughout the production of this document. The purpose of this SPD is to supplement the policies in the Development Plan. The Development Plan comprises the Harrow Unitary Development Plan (adopted July 2004) and the London Plan (adopted February 2004). The contents of this SPD are intended to provide additional guidance to assist developers and those preparing planning applications to achieve well-designed accessible homes.

This SPD is supplementary to Policy H18 of the Harrow Unitary Development Plan [HUDP] and will form part of the Local Development Framework [LDF]. Furthermore, this SPD has been produced in-line with the Mayor of London's Spatial Development Strategy for Greater London and in particular policy 3A.4.

Policy H18

"The Council will encourage new housing development, including changes of use and conversions of buildings into flats, to be accessible to all. In larger residential schemes, the Council will seek to ensure that a proportion of these are built as Lifetime Homes or capable of adaptation to Wheelchair Housing. All Wheelchair Housing, provided as part of a new residential development, should be in a suitable location in order to meet the needs of the occupants."

(HUDP, July 2004)

London Plan - Policy 3A.4

"Boroughs should take steps to identify the full range of housing needs within their area. UDP policies should seek to ensure that:

- New developments offer a range of housing choices, in terms of the mix of housing sizes and types, taking account of the housing requirements

of different groups, such as students, older people, families with children and people willing to share accommodation

- All new housing is built to Lifetime Homes standards
- 10% of new housing is designed to be wheelchair accessible or easily adaptable for residents who are wheelchair users."

(London Plan, Spatial Development Strategy, Mayor of London, February 2004)

Application of Policies

This SPD is supplementary to Policy H18 of the Harrow Unitary Development Plan (HUDP) and London Plan Policy 3A.4.

New Homes

In-line with the Development Plan policies,, the Council will require Lifetime Homes standards to be applied to new developments and will in the main require 1 in every 10 new properties to be built to Wheelchair Standard Housing (up to a maximum of

10 in any one development). However, there may be very rare situations in which extenuating circumstances or site constraints prevent adherence to Wheelchair Standard Housing, eg: on a steeply sloping site where landscaping solutions are not viable. Any proposed deviation on the above requirements should be documented as part of a planning applicant's formal Access Statement submission.

Residential conversions

The Council will expect existing properties being converted or re-developed (for example conversion of a house into flats) to conform to Lifetime Home Standards where feasible. Non-conformity with the standards should be documented as part of an Access Statement submission.

In relation to listed buildings or conservation areas, design solutions that are sensitive to both the building and the surrounding area are required, and must accord with PPG15 and relevant Harrow Council UDP policies (D11, D12, D13, D14, D15 and D16). Further design advice can be sought from the Council's Conservation Team.

Access Statements

An Access Statement is a document illustrating what has been done from the start to ensure buildings, facilities and services are accessible to disabled and non-disabled people alike.

Access Statements must be submitted with all residential development applications to avoid unnecessary delays or rejection of a planning application.

Access Statements are now central to the Planning Application process and Harrow Council is empowered to formally address detailed access issues as a key principle for granting planning permission. Designers, developers and clients are now obliged to provide statements covering the finer details of access as part of the development process.

An Access statement submitted as part of a housing development scheme, should demonstrate compliance with Lifetime Home standards and the additional requirements of Wheelchair Standard Housing. In addition, the Access Statement must reflect the

principles of good design, detailed in the accompanying Design Statement. The Access Statement will need to clearly demonstrate the following stages in the Development process:

- Pre-Planning Stage
- Planning Application stage - compliance with all 16 Lifetime Home Standards and Wheelchair Standard Housing, as appropriate, see Appendix 1. Plans submitted should be clearly labelled to highlight the individual features and the range of standards used in designing the scheme. For applications to be considered, plans should provide clear details of all dimensions and materials.
- Building Control stage - the same detail presented as part of the planning application should take on board any changes that were required to achieve planning consent.

Further information about writing an Access Statement can be obtained from Harrow Council's Development Control section.

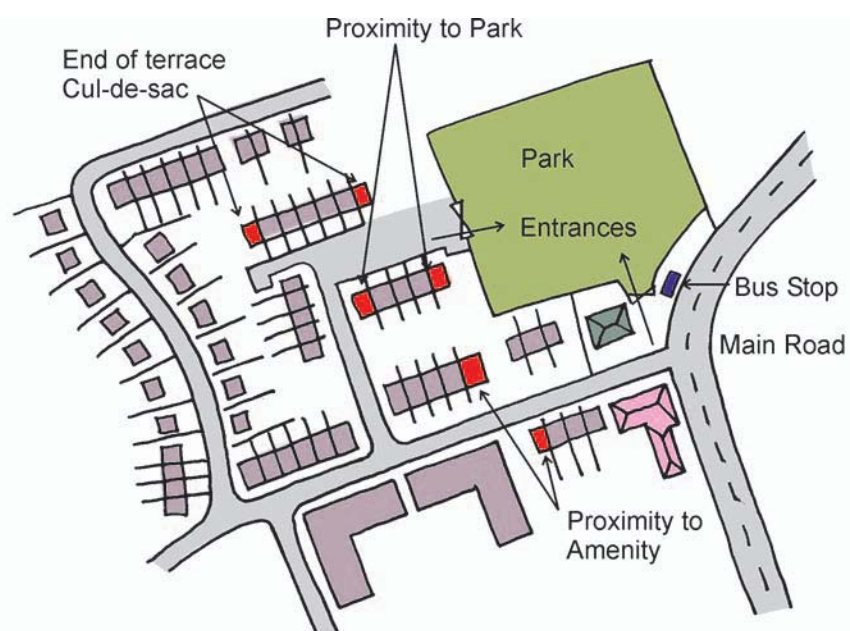
Designing Accessible Residential Developments

The overall design and layout of a residential development plays an important role in creating communities which are safe, easy to navigate and accessible. The Council therefore welcomes developments that provide convenient walking and cycling routes, are nearby to local services and amenities, as well as within easy reach of public transport services.

Wheelchair Standard Homes should be located conveniently within the

development, including corner plots to reduce any adverse effect on housing density. Wheelchair Standard Homes should be made available for private sale, as well as through affordable housing schemes. They should be evenly distributed throughout a residential development, in order to promote social inclusion, avoid the possibility of creating 'disability ghettos' and residents falling victim to targeted hate crime.

Example Layout of Residential Development



What is a Lifetime Home?

A Lifetime Home is a home built around 16 specific design standards. It is a home which promotes high levels of comfort; one that is flexible, adaptable and accessible.

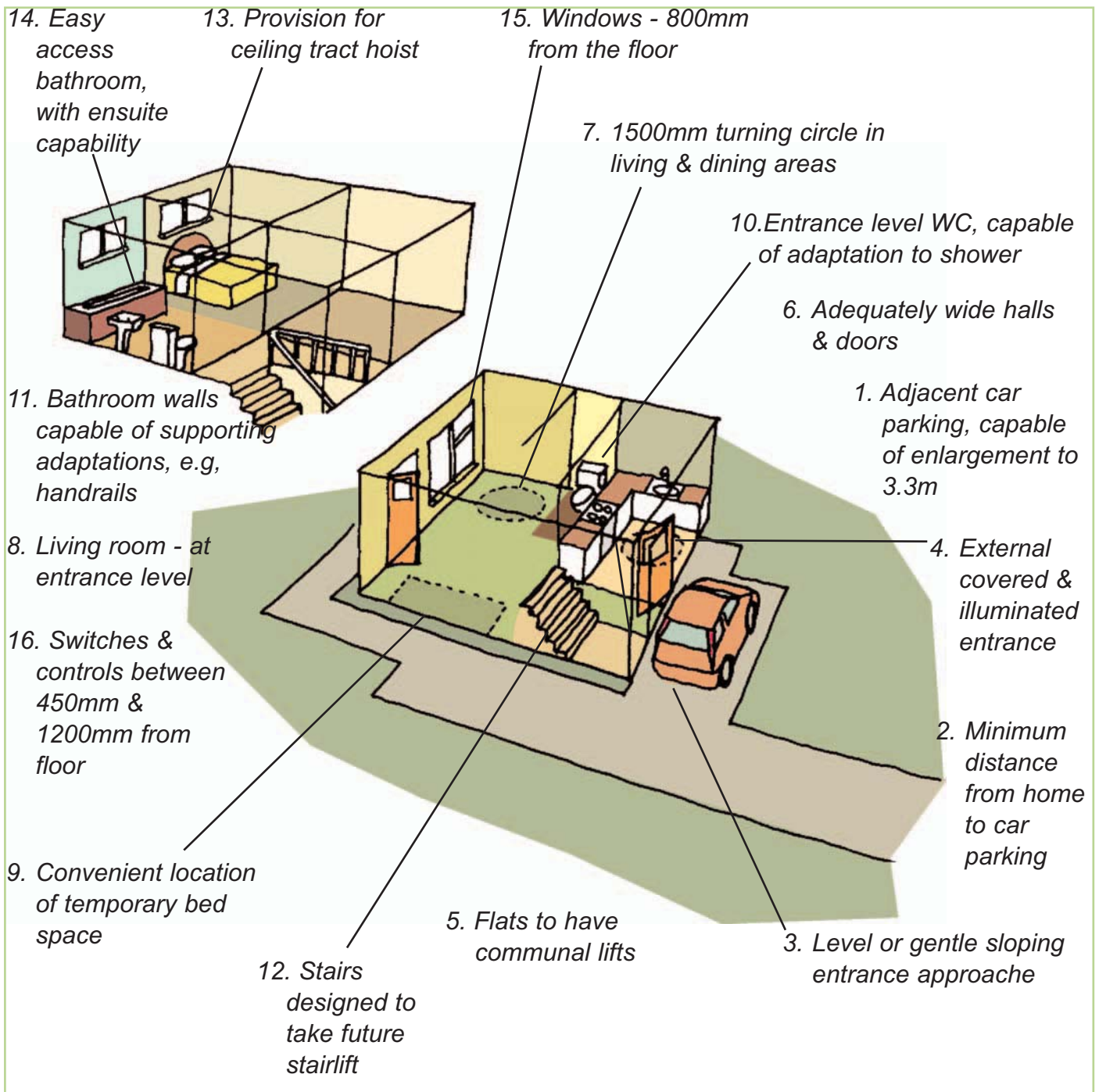
Features such as step-free entry and wider doors, allow people with pushchairs to gain easy, uninterrupted entry. Built-in removable ceiling and wall panels become invaluable for lift installation, when climbing the stairs is no longer viable. Likewise, many wheelchair users can comfortably enjoy a Lifetime Home, gain access to the upstairs and easily have a bathroom modified, without the need for disruptive or costly alterations.

Lifetime Homes allow people increased choice over where they live, and can remain homes for life, if one chooses.

In addition to Part M, Lifetime Home standards require:

1. a parking space (capable of enlargement to 3.3m in width) adjacent to the home
2. car parking within minimum distance of the home
3. an entrance approach that is level or gently sloping
4. an illuminated, covered entrance, with a level access threshold. (Flats to have a covered communal entrance.)
5. easy to access communal lifts and stairs
6. doorways a minimum width of 800mm (900mm when approach is not head on). Internal doors should have 300mm of wall space to the side of the leading edge
7. a 1500 mm turning circle (or 1400 x 1700 mm ellipse) in dining and living areas, with adequate wheelchair circulation in other areas
8. a living room at entrance level
9. space on the entrance level that could be used as convenient, temporary, bed space

10. a wheelchair accessible entrance-level WC, with plumbing and floor-gully drainage, to allow future installation of a 'wet-room' shower facility
11. bathroom and WC to be capable of taking adaptations such as handrails
12. a staircase designed to accommodate a stair lift, and a concealed ceiling hatch for a through-the-ceiling lift. (To allow for easy future installation).
13. a direct route from a bedroom to the bathroom for potential installation of a ceiling track hoist. (Achieved by installing a removable floor-to-ceiling wall panel to create an ensuite facility.)
14. a bathroom designed for ease of access, with at least 700 mm between items of bathroom furniture, e.g. between bath and washbasin
15. living room windows no higher than 800mm from the floor level, with easy to open/operate windows
16. switches, sockets, ventilation & service controls between 450 mm & 1200 mm from the floor.



Lifetime Homes are:

- not oversized dwellings. Using attention to detail, a Lifetime Home need not exceed average sizes or impede narrow frontage or high-density development. (*Designing Lifetime Homes - Joseph Rowntree Foundation, 1997*)
- not necessarily more costly to build. Lifetime Home standards can be incorporated with little or no extra cost, providing the concept is taken on board at the stage of project inception and is applied to the whole development. (*Costing Lifetime Homes - Joseph Rowntree Foundation, 1997*)
- not difficult to achieve. A full understanding of the concept, together with creative design, results in well-designed Lifetime Homes. Lifetime Home standards can be applied to virtually all housing types. (*Designing Lifetime Homes - Joseph Rowntree Foundation, 1997*)
- not 'special-needs' homes. Their flexible design takes into account the needs of a diverse range of people, whilst enabling those with moderate to severe mobility impairments to choose or remain living in mainstream housing. (*Designing Lifetime Homes - Joseph Rowntree Foundation, 1997*)
- not Wheelchair Standard Homes. Lifetime Homes are designed for easy retrospective adaptation, at minimal cost. The council recognises that a Lifetime Home will not meet the individual housing needs of everyone in society. (*Designing Lifetime Homes - Joseph Rowntree Foundation, 1997*)
- not unattractive. They can be designed tastefully, are attractive to a wider range of people, and will rarely remain unoccupied. (*Designing Lifetime Homes - Joseph Rowntree Foundation, 1997*)
- not all ramps and handrails. A Lifetime Home is like any other home. Intrusive adaptations are unnecessary in Lifetime Homes as access and flexibility is built-in from the start. (*Designing Lifetime Homes - Joseph Rowntree Foundation, 1997*)

What is a Wheelchair Standard Home?

Whilst a Lifetime Home goes some way towards being suitable for wheelchair users, it is not always ideal. A Wheelchair Standard Home encompasses highly effective differences, to achieve a design that enables wheelchair users to maximise personal independence.

In basic terms a Wheelchair Standard Home is more spacious, allowing a wheelchair user to move around unhindered. These homes should be designed for wheelchair users with more complex requirements and should be built, already adapted for use, including pre-installed features such as low-level kitchen facilities, infrared light switches, pre-installed handrails, etc.

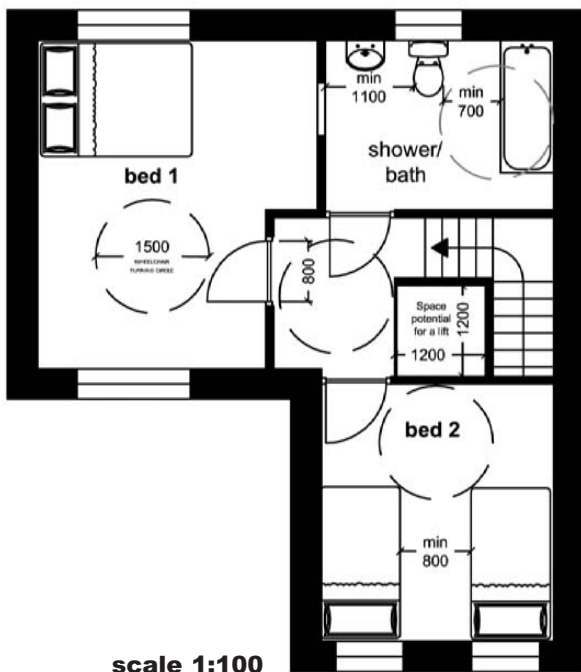
In addition to Part M requirements and Lifetime Homes criteria, Wheelchair Standard Homes also require:

1. a covered car parking space
2. level hard standing with a minimum drainage fall, to allow safe transfer between car and wheelchair
3. a car park location that allows natural surveillance
4. car parking (where a carport cannot be provided within the curtilage) no more than 30m away
5. hard surfaced external paths, which are non-slip, easy to maintain, hard wearing and adequately drained
6. good external lighting on pathways and in parking areas
7. adequate, wheelchair accessible, refuse disposal areas
8. easy to maintain garden areas
9. screened washing drying areas (where residents do not have access to individual gardens)
10. a rear patio area, leading from a secondary garden door

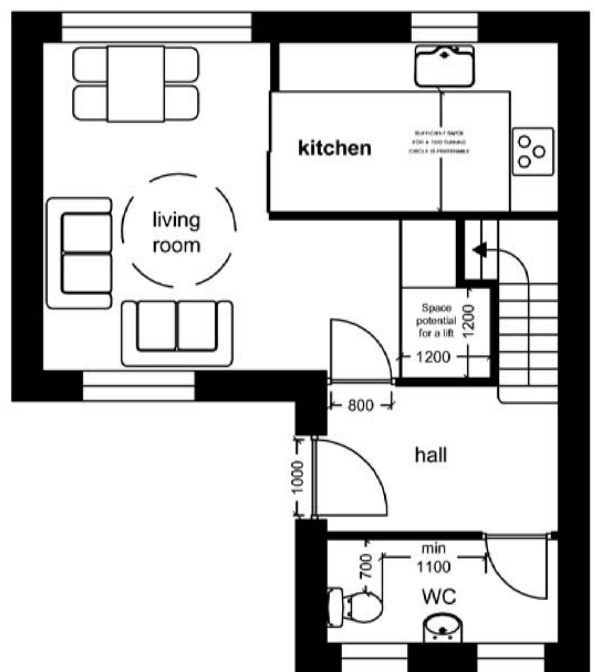
11. carefully designed damp proof specification, and level entrance to prevent ingress of moisture and rainwater
12. easy wheelchair access to door locks
13. a well ventilated storage space (1200mm x 1200mm x 700mm) for outdoor mobility vehicles, with an unobstructed transfer area.
14. letter boxes of a suitable type and at an appropriate height
15. hallways to be a minimum width of 1200mm
16. internal doors to open more than 90 degrees
17. the leading edge of internal doors to be 550mm from an adjacent wall
18. a bathroom (2400mm x 2400 mm) provided ensuite to a main bedroom
19. the kitchen to have a minimum clear space (1500 mm x 1500 mm) between walls and/or fixed units
20. a kitchen, designed to allow safe and convenient use by wheelchair users, with worktops that are electrically or manually height adjustable
21. a storage cupboard for disability related equipment.
22. a separate dining room, or defined dining space, with adequate circulation routes
23. that electrical sockets be positioned 750mm above floor level and at least 600mm from a wall intersection (except where electrical safety standards specify otherwise).
24. a telephone point in the living room, main bedroom and second bedroom, with a nearby plug point.

Example: Lifetime Home Standard Design



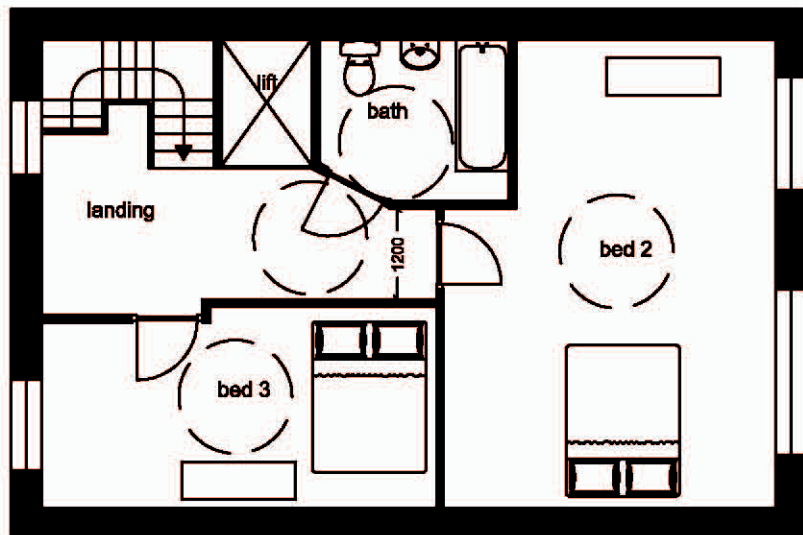
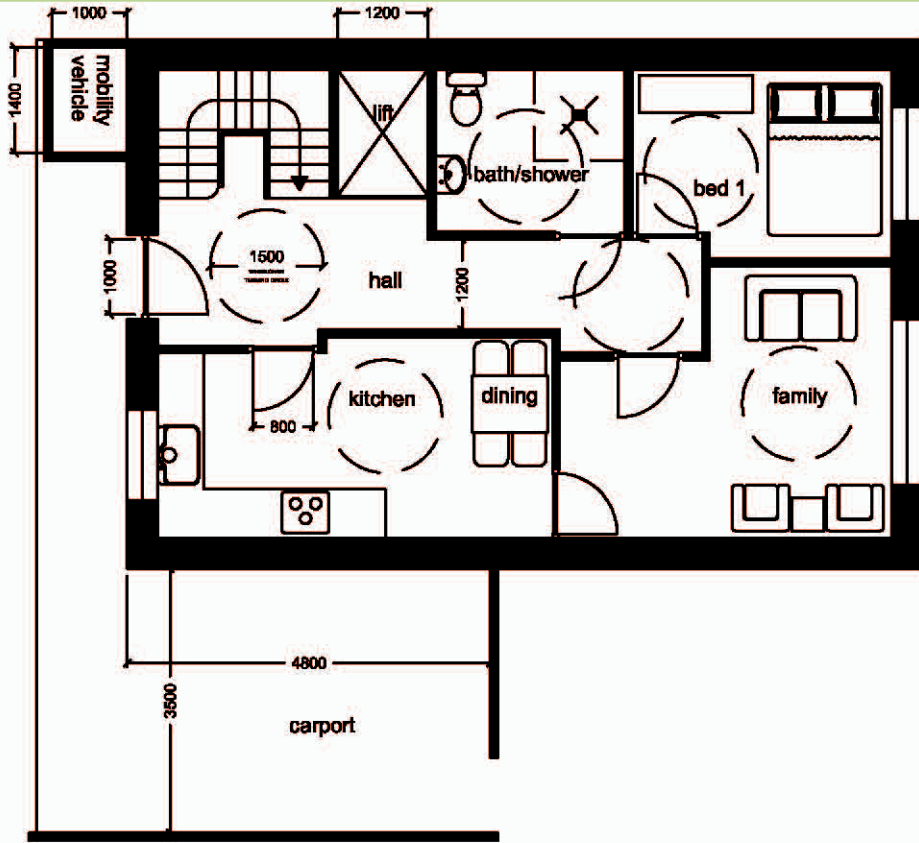


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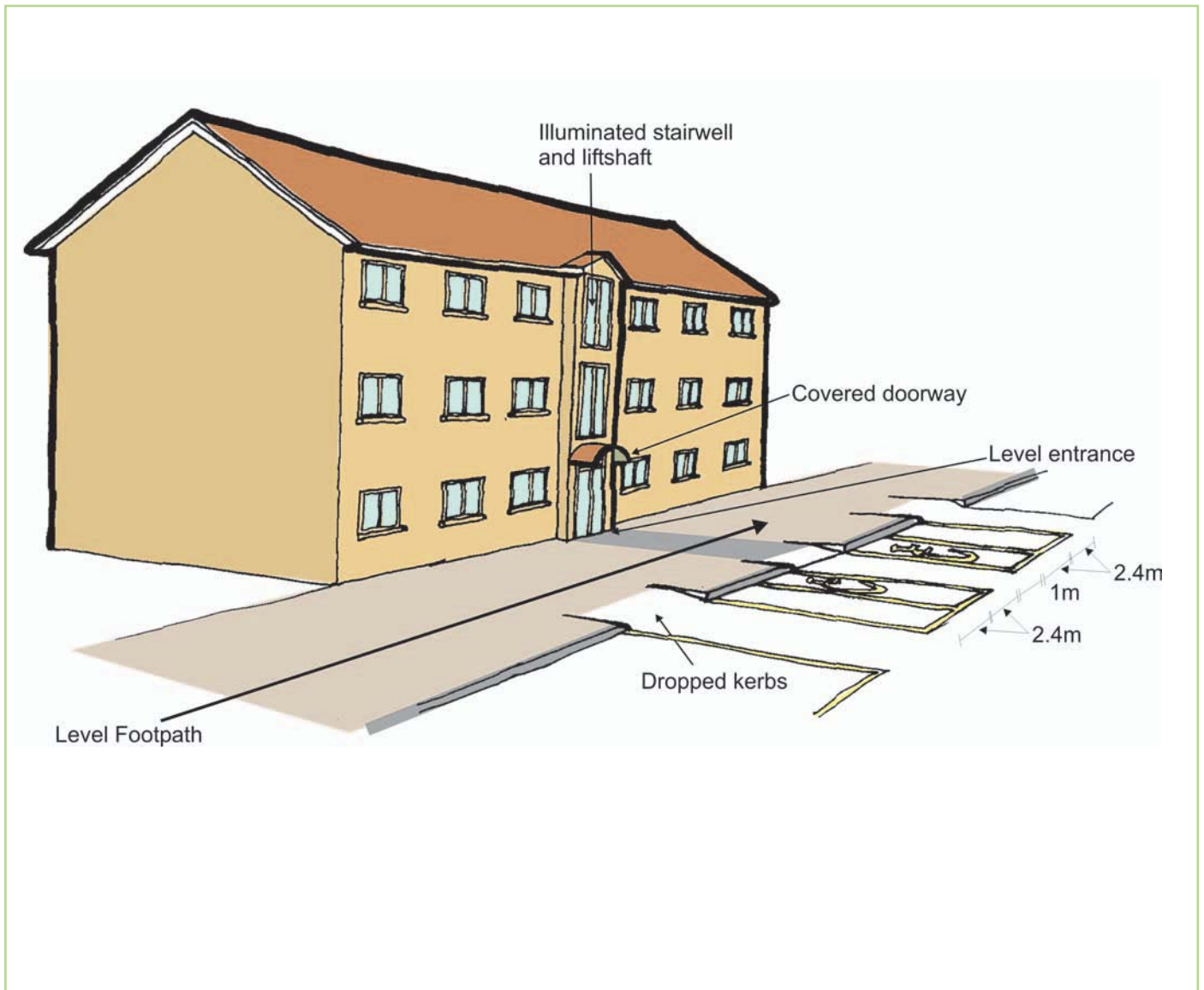
Example: Wheelchair Standard Home Design

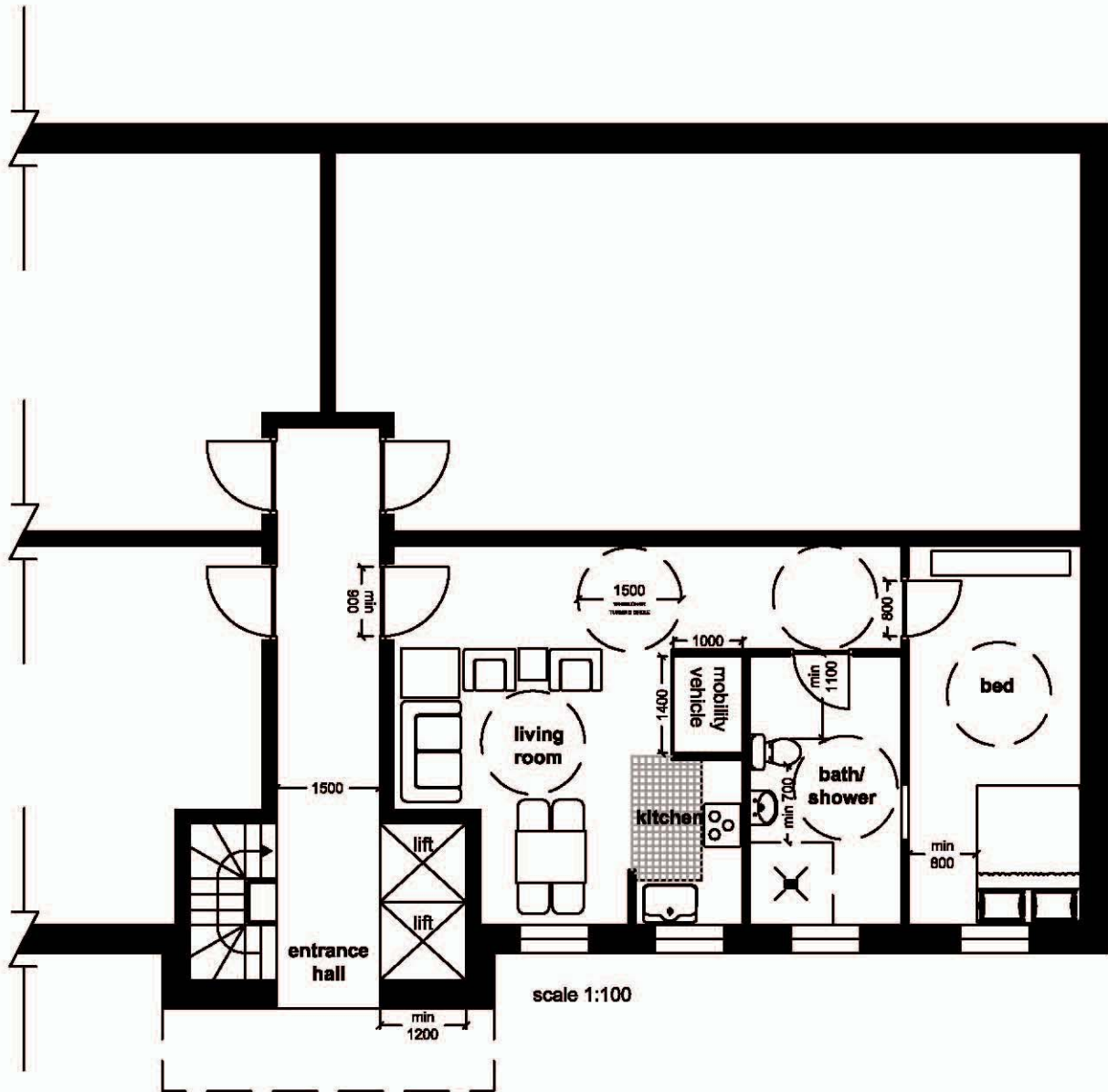




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Example: Lifetime and Wheelchair Standard Flats Design





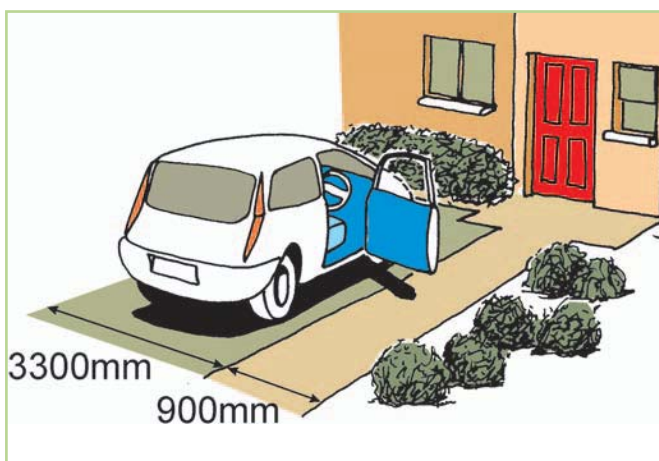
Detailed Design Considerations

Car Parking

Lifetime Home

Car parking should comply with Part M and should be:

- on the same level as the home
- adjacent to the home and be capable of enlargement to a width of 3.3m to allow a car door to be fully opened and a wheelchair pulled up alongside.
- adjacent or kept to a minimum distance from the front of the property.



Car Parking

Car parking should comply with the standards of Lifetime Homes and in addition should:

- be 3.6m wide to include an integrated wheelchair user transfer area
- provide a covered transfer area which is integral and aesthetically compliments the home
- ensure hard standing areas are level, with a minimum drainage fall, to allow the safe transfer between car and wheelchair.
- be located to allow natural surveillance, in order to design out crime.
- be installed with solar powered lights, controlled by time clock(s), to ensure the area is well-lit at night
- provide a side protection fence or wall, where car parking is provided in exposed locations

Wheelchair Standard Home

- not be more than 30m from the home, where a carport cannot be provided within the curtilage
- ensure underground car parks have a headroom height of 2m, to allow access by people-carriers and similar large wheelchair accessible vehicles



Approaches & Entrances

Approaches to dwellings should comply with Part M and also need to:

- be level or gently sloping; maximum gradient 1:20
- have a covered, illuminated entrance and level access over the threshold with a maximum upstand of 15mm
- have front doors with a clear opening width of 800mm
- have pathways leading to the property not less than 900mm wide, non-slip and clearly defined
- be landscaped and planted carefully to avoid danger or injury to people with visual impairments.

Where plot gradients are steeper than 1:20, access to the dwelling must be provided by a ramp, designed in accordance with Part M to the Building Regulations.

Lifetime Home



Approaches & Entrances

The approach and entrance to a Wheelchair Standard Home should comply with Part M, Lifetime Home Standards and should:

- have hard surfaced paths leading to the property, which are non-slip, easy to maintain, hard wearing, adequately drained, well lit and not less than 1200mm wide. (Ensure slopes have good grip for wheelchair tyres in wet weather conditions.)
- ensure gullies and drains are flush to the surrounding surface, so as not to cause a hazard to wheelchair or walking aid users.
- provide a storage space (1200mm x 1200mm x 700mm) for charging outdoor mobility pavement vehicles, with an unobstructed transfer area. (The charging area should be located to allow high level passive ventilation or mechanical ventilation when this is not possible.)
- have letter boxes of a suitable type and at an appropriate height

Wheelchair Standard Home

- ensure that external entrance lighting is provided (controlled by passive infra-red sensors and manual switches from within the home)
- incorporate an adequately sized refuse disposal area close to the entrance, which is wheelchair accessible
- provide easy to maintain garden areas, particularly where an individual resident is responsible for its upkeep

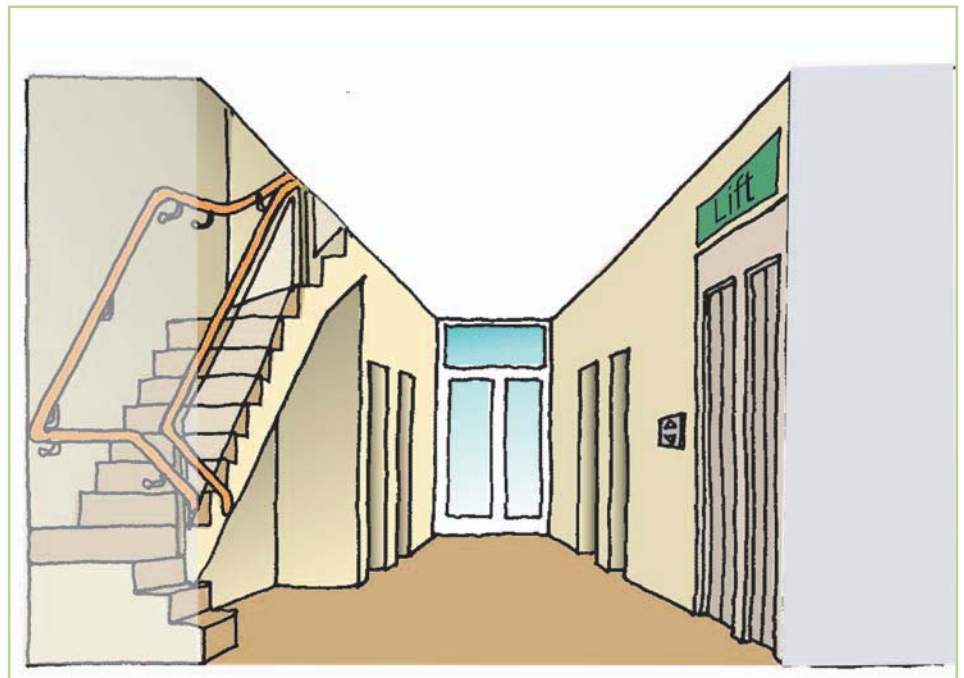


- have screened areas for hanging out washing (where residents do not have access to individual gardens). In any case, areas should include height adjustable rotary dryers
- provide a rear patio area (minimum 3m x 3m), leading from a garden door, linked to a main path, to provide a safe means of escape for wheelchair users
- ensure a carefully designed level entrance and damp proof specification, to prevent ingress of rainwater and moisture.

Communal areas

Communal areas within blocks of flats should provide:

- a wheelchair accessible passenger lift (1100 mm x 1400 mm)
- communal stairs designed in accordance with Part M
- entrance doors, lifts and stairs located at the front of blocks of flats
- a corridor width of at least 1500mm



Circulation Areas within the Home

Circulation areas should comply with Part M, and additionally;

- the width of doorways and hallways to be dependant upon position in relation to each other, in line with the table opposite
- turning space for wheelchairs to be provided, (i.e. 1500 mm or 1400 mm x 1700 mm ellipse) in the kitchen, dining and living room areas. Adequate wheelchair circulation space to be provided in other circulation areas.
- a removable ceiling hatch should be positioned to allow for future installation of a 'through the ceiling'

Lifetime Home

type wheelchair lift, e.g. from a downstairs living room, to an upstairs bedroom

- staircases should be designed to allow for future installation of a stairlift

Door Clear Opening Width	Corridor Width
750 mm	900 mm (when approach is head on)
750 mm	1200 mm (when approach is not head on)
775 mm	1050 mm (when approach is not head on)
900 mm	900 mm (when approach is not head on)

Circulation Areas within the Home

Doorways and corridors should meet the standards of Lifetime Homes and additionally provide:

- corridors and halls at a minimum width of 1200 mm, with 1500 mm
- turning circles at corridor junctions
- internal doors with a minimum width of 850 mm, which open more than 90°(to ensure handles do not project into opening width)
- 550mm from an adjacent wall to the leading edge (opening side) of internal doors
- a vertical lift, positioned to allow its convenient use, without causing disturbance/disruption to the commonly used rooms, e.g. located in a hallway, rather than a living room.

WC's, Showers and Bathrooms

Entrance Level WC

In houses with three bedrooms or more, a wheelchair accessible, entrance level WC, should be provided, which exceeds the requirements of Part M.

The WC should;

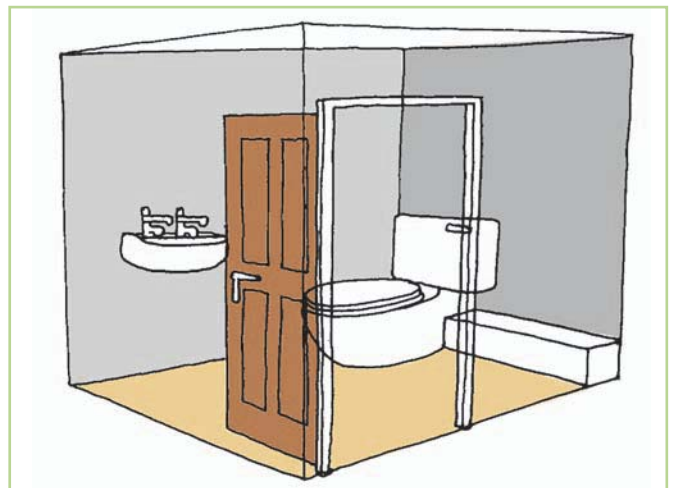
- ideally be located towards the rear of the house.
- provide 1100mm of space (clear of door swing) between the front edge of the toilet pan and WC door. An additional 700mm transfer area should also be provided to one side of the toilet pan.
- be waterproofed, and fitted with recessed floor-gully drainage to allow use of the compartment as a 'wet-room' shower facility.
- have walls capable of taking adaptations where significant load may be applied, e.g. handrails.
- be fitted with wash hand basins that are accessible to wheelchair users.

Bathrooms

Lifetime Home

In addition to entrance level WC requirements, Lifetime Home bathrooms should:-

- provide 700mm between items of furniture, e.g. between bath and toilet.
- provide recessed floor-gully drainage



so that any fitted bathtub can be replaced with a shower in future.

- provide a direct route for a ceiling track hoist (via a ceiling to floor wall panel), from a main bedroom to a bathroom, to be installed at a later date.

WC's, Showers and Bathrooms

Entrance Level WC

A Wheelchair Standard Home WC should meet all the requirements of a Lifetime Home entrance WC, and should also:

- provide a wash hand basin that is easily reachable whilst seated on the WC.
- provide more than one toilet facility per home.

Bathrooms

In addition to a downstairs WC, Wheelchair Standard Home bathrooms should:

- be located next to the main bedroom, with either a removable floor to ceiling wall panel or folding/sliding door to allow en-suite wheelchair access.
- have minimum internal dimensions of 2400 x 2400mm

Wheelchair Standard Home

- provide either a wheel in 'wet-room' shower facility, or, a bathtub that is height adjustable and compatible with both ceiling track and free-standing hoists

N B: The bathroom/shower room is extremely important for the independence of many disabled people as success or failure can depend on the usability of personal hygiene facilities.

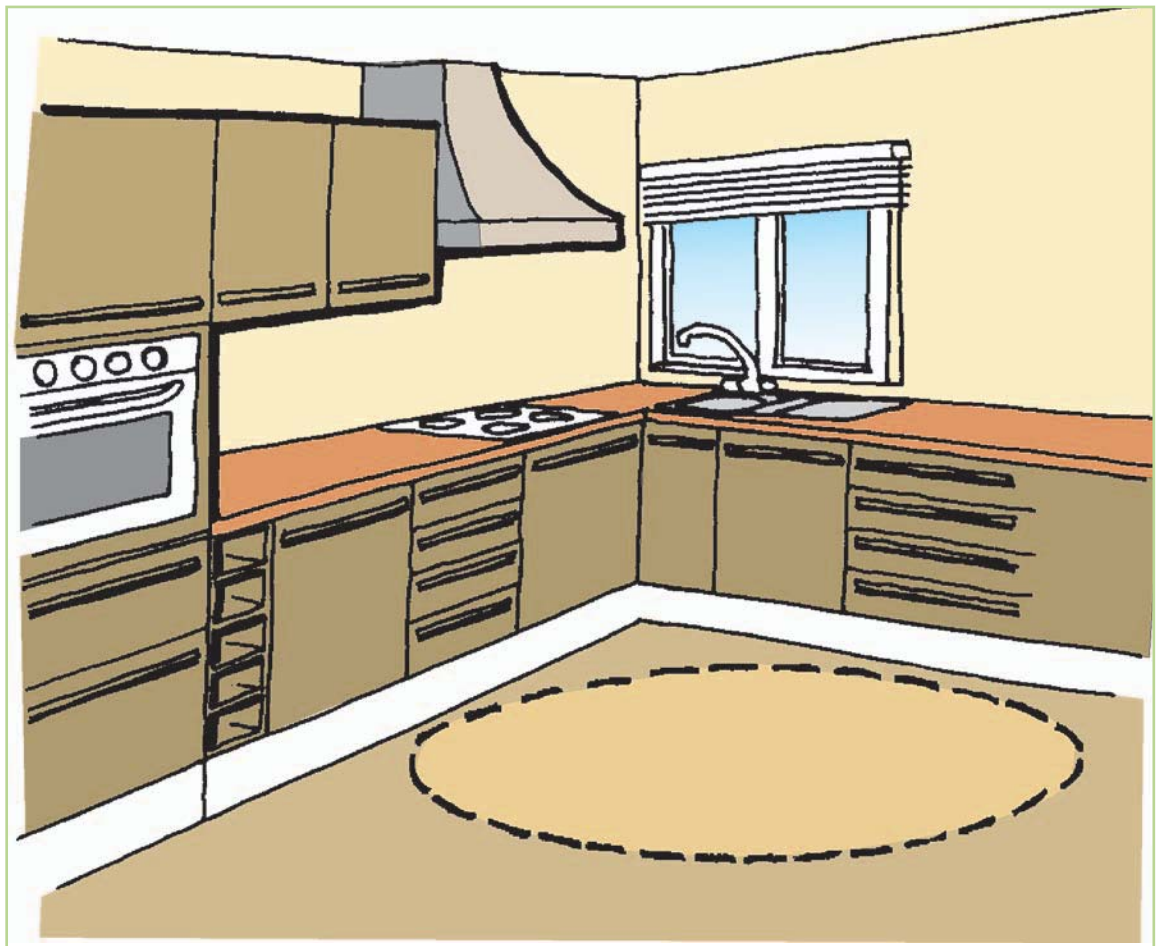


Kitchens

Lifetime Home

Kitchens should:-

- be located at the front of a house
- provide a turning circle of at least 1500mm or 1400mm x 1700 ellipse



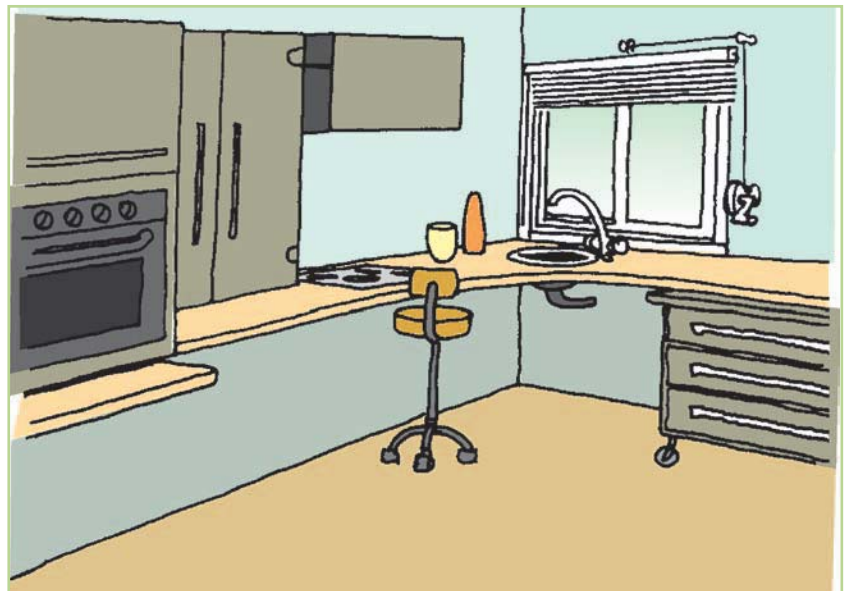
Kitchens

In addition to the requirements of a Lifetime Home kitchen, a Wheelchair Standard Home kitchen should:

- provide a minimum 1400mm x 1400mm clear floor space between fixed units
- should ensure a layout which minimises needing to carry hot pans and dishes
- have kneehole spaces under worktops, hob and sink units, and a reach to the wall of no more than 600mm depth to operate controls.
- have built in appliances at a maximum reaching height of 1400mm, e.g. oven
- be fitted with user operated height adjustable work surfaces using flexible plumbing

Wheelchair Standard Home

- have pull-out surfaces that supplement main worktop areas
- provide a sink bowl 150mm in depth, with waste pipes positioned at the rear of the bowl.
- have the sink fitted with mini-lever taps as standard
- ensure that stopcocks to washing machine and sinks are accessible to wheelchair users



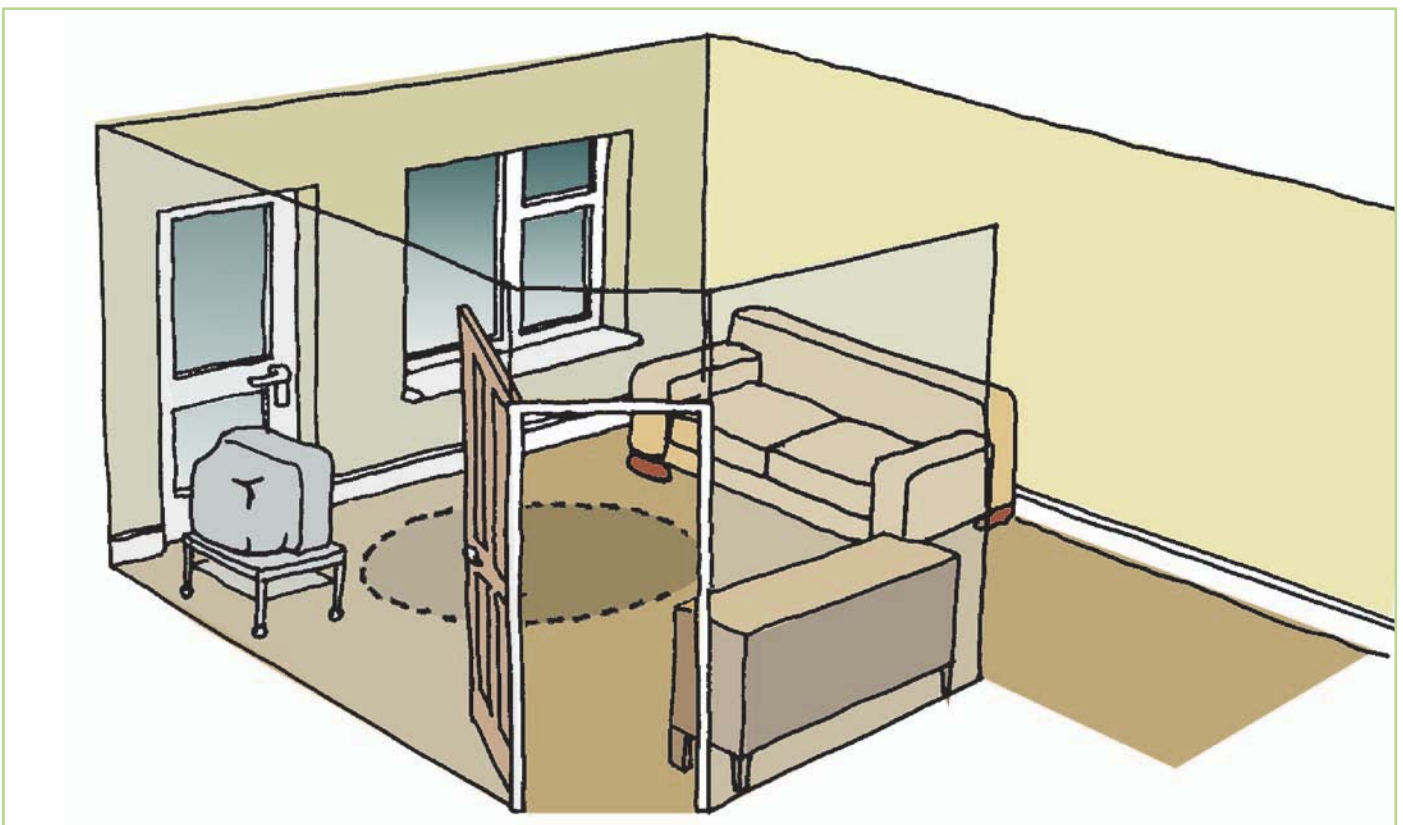
Living Rooms

Living rooms should be at entrance level and should:

- allow a seated person to see out of the living room window: glazing should start at a height of 800mm.
- Provide an adequate turning space, ie 1500mm diameter or 1400 x 1700mm ellipse

Lifetime Home

- provide space on the entrance level that could be used as convenient, temporary, bed space (in homes with an upstairs).



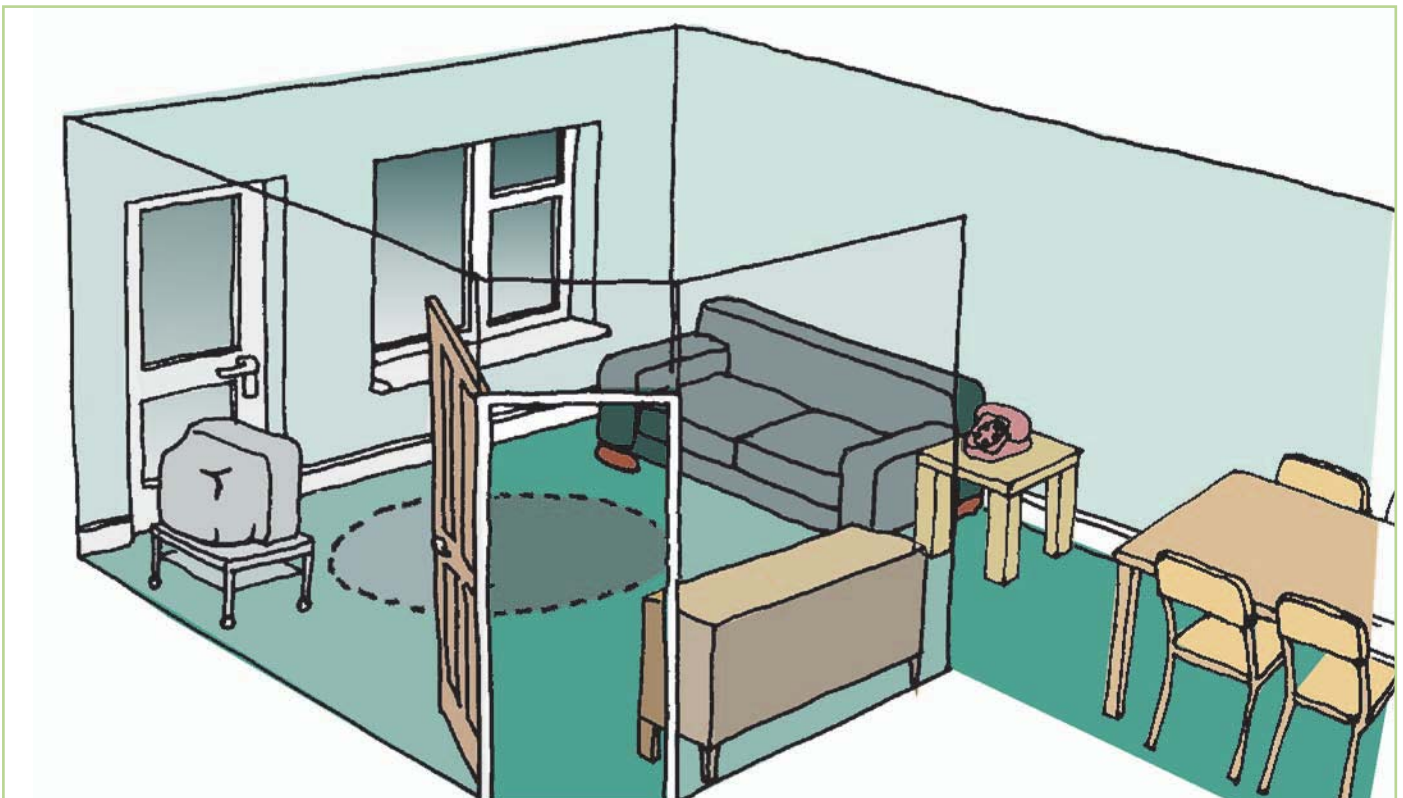
Living Rooms

Living room accommodation should:

- be wider than 3m
- be private and quiet (e.g. away from noise such as stairlifts)
- allow for alternative furniture layout, including parameter layout to maximise wheelchair manoeuvrability

Wheelchair Standard Home

- provide a defined dining space (where a separate dining room is not provided)
- incorporate a telephone point.

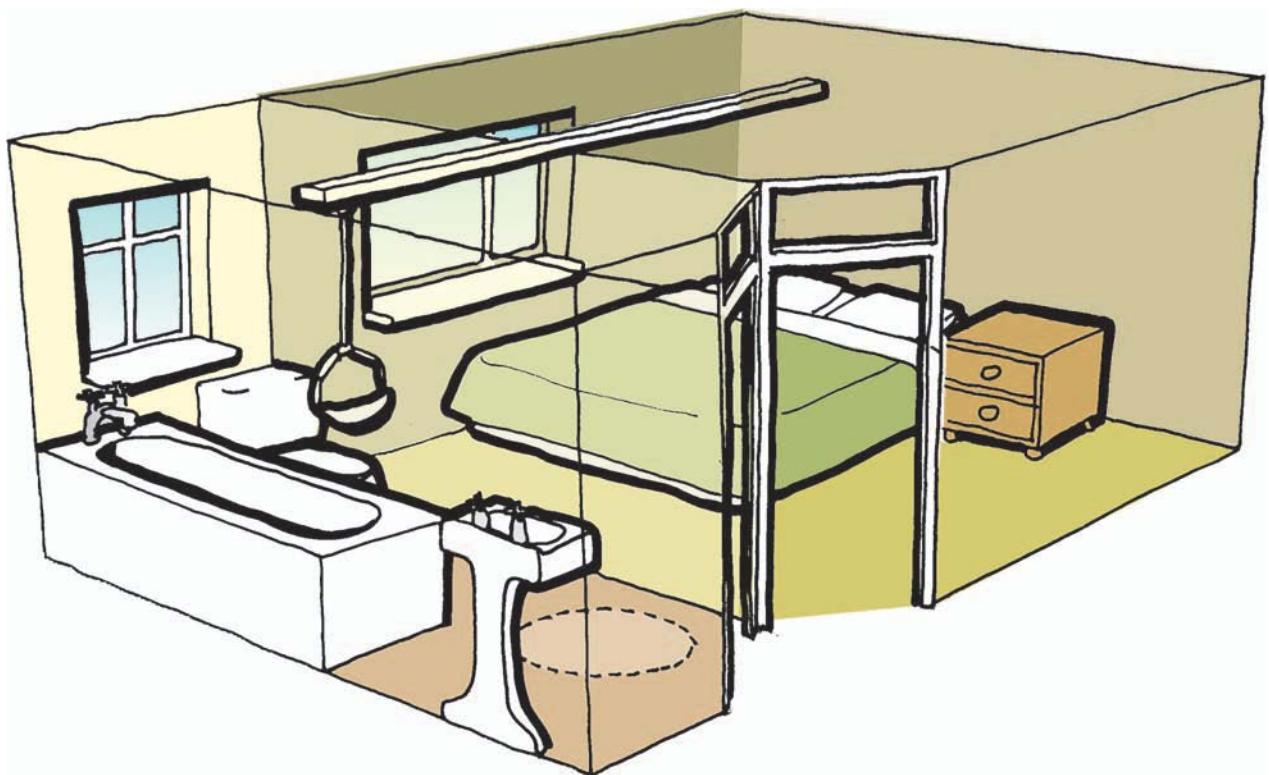


Bedrooms

Lifetime Home

Bedrooms should:

- be located at the rear of the property where possible.
- allow for the future installation of a ceiling-track hoist from a main bedroom to the bathroom, via a removable floor-to-ceiling panel.



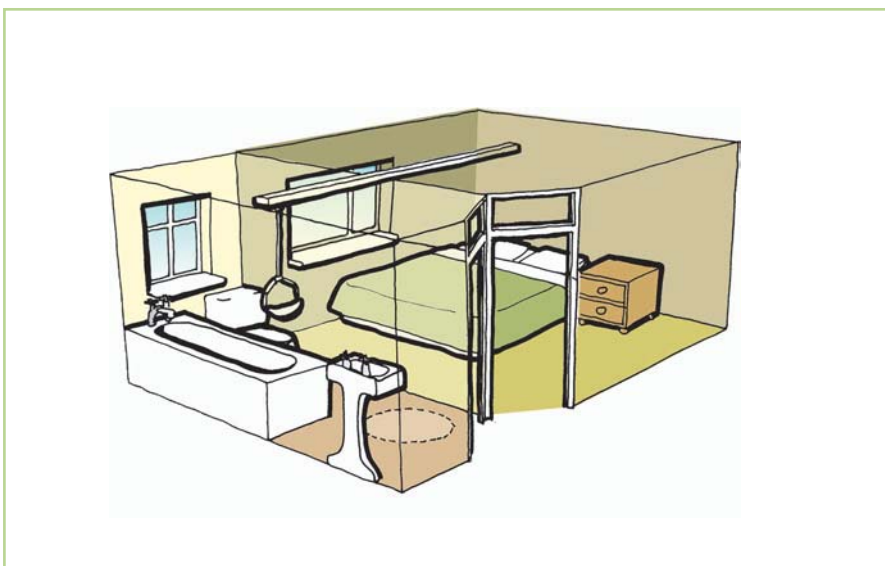
Bedrooms

Bedrooms should conform to Lifetime Home Standards and should:

- be 4.3m x 3.6m minimum
- allow wheelchair access to both sides of a double bed (it is acceptable for a wheelchair user to reverse alongside the bed, but they should not be expected to reverse round the bed corner)
- have wardrobes (where fitted) designed and positioned to allow a wheelchair user to easily reach from a sideways position

Wheelchair Standard Home

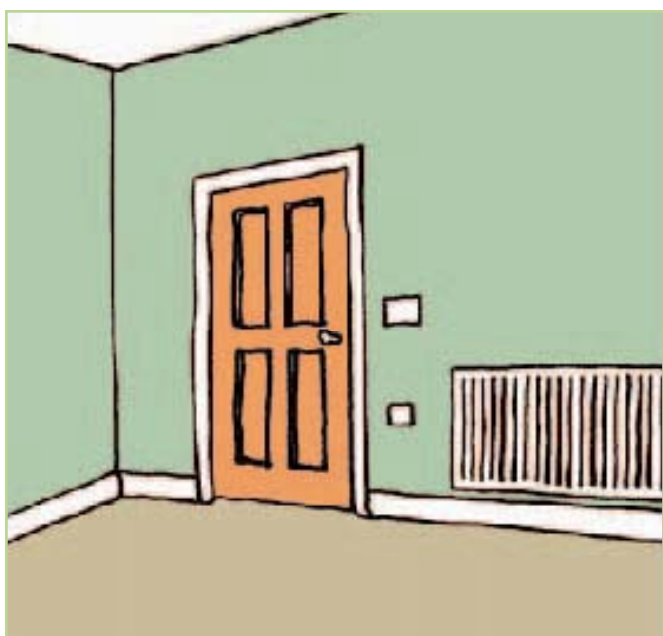
- have a second bedroom positioned with an adjoining door to the main bedroom (to allow for easy night-time assistance)
- have a bathroom (designed to British Standard 8300) provided en-suite to the main bedroom
- have TV aerial, power outlets, telephone socket and door entry system controls close to the bed.



Fixtures and Fittings

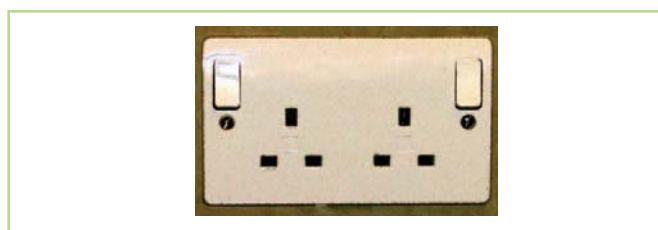
Fixtures & fittings should be easy to use by as many people as possible and should ensure:

- all windows allow one-handed operation, using minimal effort, i.e. handles and locks not requiring fine manual dexterity, and set at maximum reaching point of 1.2m from the finished floor
- that window glazing in the living room begins at 800mm from the floor level



Lifetime Home

- installation of electrical sockets (switched at outer ends) at a height of 450mm from the finished floor
- switches, ventilation and service controls at 1200mm from the floor



Electrical socket positioned at 450mm above floor and switched at outer ends

Fixtures and Fittings

In addition to Lifetime Home fixtures & fittings, design of a Wheelchair Standard Home should ensure that:

- internal doors have lever-type handles at a height of 800mm-900mm
- door closers (where needed) require a maximum opening pressure/closing force of 25 newtons.
- controls and switches can be used effortlessly by people with limited manual dexterity
- e.g. light switches, heating controls, door-entry systems



Radiator valve at a height of 800 mm



Full plate light switch



Infra-red light switch

Wheelchair Standard Home

- electrical sockets are positioned at a height of 750mm from the floor
- a dedicated 13 amp spur is provided close to the inside of external doors, to allow for installation of powered door openers, etc
- wheelchair users can easily reach heating and hot water controls (maximum height of 1200 mm), e.g. boiler ignition time programmer, and room thermostat
- heater controls or radiator valves are positioned at a height of 600mm - 850mm from the floor.

Sources and References

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- 'Designing Lifetime Homes', Edited by Julie Brewerton and David Darton, Joseph Rowntree Foundation 1997, ISBN 1 85935 025 9
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- Building Regulations 2000 - Part M: 'Access to and Use of Buildings', ODPM: May 2004 Edition
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- Accessible London: Achieving an Inclusive Environment, The London Plan Supplementary Planning Guidance, Mayor of London: 2004





ACCESSIBLE HOMES
Supplementary Planning Document

SUSTAINABILITY
APPRAISAL REPORT

March 2006

Please call the number below for a large print version of this document, or a summary of this document in your language.

- Albanian** Nëqoftëse gjuha Angleze nuk është ghuha juaj e parë, dhe keni nevojë për përkthimin e informatave të përmbajtura në këtë dokumentë, ju lutemi kontaktoni numërin dhënë.
- Arabic** اذا كانت الانجليزية ليست لغتك الاولى وتحتاج لترجمة معلومات هذه الوثيقة، الرجاء الاتصال على رقم
- Bengali** যদি ইংরেজি আপনার মাতৃভাষা না হয় এবং আপনি যদি এই প্রচারপত্রের তথ্যগুলোর অনুবাদ পেতে চান তাহলে যে টেলিফোন নম্বর দেওয়া আছে সেখানে দয়া করে যোগাযোগ করুন।
- Chinese** 如果你主要說用的語言不是英語而需要將這份文件的內容翻譯成中文，請打註明的電話號碼提出這個要求。
- Farsi** اگر انگلیسی زبان اول شما نیست و شما نیاز به ترجمه اطلاعات موجود در این مدرک را دارید، لطفاً با شماره داده شده تماس بگیرید
- Gujarati** જો ઈંગ્લિશ તમારી પ્રથમ ભાષા ન હોય અને આ દસ્તાવેજમાં રહેલ માહિતીનો તરજૂમો (ટ્રાન્સલેશન) તમને જોઈતો હોય તો કૃપા કરી જણાવેલ નંબર ઉપર ફોન કરો
- Hindi** यदि आपको अंग्रेज़ी समझ नहीं आती और आपको इस दस्तावेज़ में दी गई जानकारी का अनुवाद हिन्दी में चाहिए तो कृपया दिए गए नंबर पर फोन करें।
- Panjabi** ਜੇ ਤੁਹਾਨੂੰ ਅੰਗਰੇਜ਼ੀ ਸਮਝ ਨਹੀਂ ਆਉਂਦੀ ਤੇ ਤੁਹਾਨੂੰ ਇਸ ਦਸਤਾਵੇਜ਼ ਵਿਚ ਦਿੱਤੀ ਗਈ ਜਾਣਕਾਰੀ ਦਾ ਤਰਜਮਾ ਪੰਜਾਬੀ ਵਿਚ ਚਾਹੀਦਾ ਹੈ ਤਾਂ ਕਿਰਪਾ ਕਰਕੇ ਦਿੱਤੇ ਗਏ ਨੰਬਰ ਤੇ ਫੋਨ ਕਰੋ।
- Somali** Haddii Ingiriisku uusan ahayn afkaaga koowaad aadna u baahan tahay turjumidda xog ku jirta dokumentigan fadlan la xiriir lambarka lagu siiyey.
- Tamil** ஆங்கிலம் உங்கள் தாய்மொழியாக இல்லாதிருந்து இப்பத்திரத்திலிருக்கும் தகவலின் மொழிபெயர்ப்பு உங்களுக்கு தேவைப்பட்டால் தயவுசெய்து தரப்பட்ட தொலைபேசி எண்ணில் தொடர்பு கொள்ளவும்.
- Urdu** اگر انگریزی آپ کی مادری زبان نہیں ہے اور آپ کو اس دستاویز میں دی گئی معلومات کا اردو ترجمہ درکار ہے، تو براؤ کر مہینے گئے نمبر پر رابطہ کریں۔

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Sustainability Appraisal Background and Purpose

1. Introduction

1.1 The Main Principles of the Local Development Framework and Legislative Background

The Local Development Scheme (LDS), brought into effect in June 2005, outlines the programme for preparing and reviewing Local Development Documents. The LDS includes the timetable for the production of this Accessible Homes Supplementary Planning Document (SPD). SPDs provide additional guidance expanding upon policies in the Harrow Unitary Development Plan (HUDP).

2. Policy Context

2.1 The Accessible Homes SPD is supplementary to the Harrow Unitary Development Plan [HUDP] and will form part of the Local Development Framework [LDF]. The SPD amplifies policy H18 which reads as follows:

Accessible Homes

H18 THE COUNCIL WILL ENCOURAGE NEW HOUSING DEVELOPMENT, INCLUDING CHANGES OF USE AND CONVERSIONS OF BUILDINGS INTO FLATS, TO BE ACCESSIBLE TO ALL. IN LARGER RESIDENTIAL SCHEMES, THE COUNCIL WILL SEEK TO ENSURE THAT A PROPORTION OF THESE ARE BUILT AS LIFETIME HOMES OR CAPABLE OF ADAPTATION TO WHEELCHAIR HOUSING. ALL WHEELCHAIR HOUSING, PROVIDED AS PART OF A NEW RESIDENTIAL DEVELOPMENT, SHOULD BE IN A SUITABLE LOCATION IN ORDER TO MEET THE NEEDS OF THE OCCUPANTS.

2.2 In line with London plan policies and HUDP Policy H18, the Accessible Homes SPD will provide developers with guidance in relation to the design of Wheelchair Standard Housing, and clear guidance of where it will be sought.

2.3 The London Plan targets of 100% Lifetime Homes, 10% wheelchair-accessible homes, and its general requirements for access for all, are fundamental to providing the right homes in the right place. The London Plan also acknowledges that successful high density housing will not be possible without the highest standards of urban design. For the purpose of this SA, the term 'Lifetime' will be used instead of the word 'mobility'.

2.4 The title of the Accessible Homes SPD was previously Mobility and Wheelchair Housing SPD and the re-naming of the SPD was proposed for at the time of adoption. This change was outlined in the Annual Monitoring Report (AMR) and agreed by the Government Office for London (GoL). The previous title Mobility and Wheelchair Housing was considered out-dated and out of step with current terminology. The new title is a more accurate representation of the subject matter of the document and will reflect the relevant Policy title in the Unitary Development Plan. The SPD addresses both the delivery of Lifetime and Wheelchair Standard housing, and aims to ensure good design in the delivery of such housing, and housing in general.

2.5 The SPD comprises of two types of housing unit - Lifetime homes and Wheelchair standard homes. A Lifetime home is a home for life and is designed with 16 specified criteria in mind (see below), for example, features such as level access, wider doors and sufficient internal turning space.

Criteria: Lifetime Homes Standard Housing

- 1) Car Parking - adjacent, capable width > 3.3m
- 2) Car parking - space between car park and home level
- 3) Entrance - approaches level or gently sloping
- 4) Entrance - illuminated, level & covered
- 5) Lifts - wheelchair accessible
- 6) Width - position of doors and halls
- 7) Internal turning space - 1500mm diameter
- 8) Sitting room - at entrance level
- 9) Bedroom - ground floor
- 10) Downstairs W.C - wheelchair accessible & shower
- 11) W.C. Walls - adaptable i.e. handrails
- 12) Future Stair lift Provision
- 13) Provision for ceiling tract hoist
- 14) W.C & Bathroom - side approach
- 15) Windows - 800mm or lower
- 16) Switches - 450mm to 1200mm

2.6 A wheelchair standard home is a home that is specifically designed with wheelchair users in mind. The criteria for Wheelchair standard homes are additional to the above listed Lifetime homes standards and promote subtle but highly effective differences that cater for a wheelchair user - for example, features such as covered car parking areas, low-level kitchen units and storage space. The Wheelchair standard homes criteria are as follows:

Criteria: Wheelchair Standard Homes

- 1) Car parking - covered
- 2) Storage space - outdoor mobility vehicles
- 3) Letter Box - type and height suitability
- 4) Circulation areas - 1200mm minimum
- 5) Internal doors - to open > 90 degrees
- 6) Leading Edge - 550mm from adjacent wall
- 7) Bathroom - 2400mm x 2400mm
- 8) Kitchen - 1400mm x 1400mm
- 9) Storage cupboard - disabled equipment

2.7 Lifetime Homes and Wheelchair housing are two different types of housing which should generally form part of the fabric of mainstream housing. Currently such housing is normally secured through negotiations with developers in Harrow. Older people and people with physical disabilities require housing which is designed to help them retain maximum independence.

There is a need for housing which is not specifically designed for disabled people but adaptable and designed to be adjustable in accordance to the changing physical and medical circumstances. This places people who become disabled in a favourable position in as much as they do not have to move house. Consequently, the Council wishes to amplify on the implementation of policy H18 and further emphasise the support for Lifetime housing because Lifetime homes substantially reduce the cost of later adaptation, and reduce the costs of personal care.

2.8 Baseline data relating to local social, economic and environmental issues was collected as a way of devising a structure for the Accessible Homes SPD and to determine its content or scope in line with relevant government guidance, plans and programmes that were reviewed. The most important task in carrying out a SA of the Accessible Homes SPD was to establish the likely significant effect of the content of the Accessible Homes SPD against social, economic and environmental factors, in accordance with the requirements of the SEA Directive and the Planning and Compulsory Purchase Act 2004.

2.9 A review of European, national, regional and local policy and strategy plans was undertaken to identify appropriate social, environmental and economic objectives for the Accessible Homes SPD.

Some of the most relevant documents reviewed for the production of the Mobility & Wheelchair Housing SPD and this SA Report are listed below:

1. The Strategic Environmental Assessment Directive: Guidance for Planning Authorities. ODPM, London, October 2003
2. Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Consultation Paper, ODPM, September 2004
3. Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Interim Advise Note on Frequently Asked Questions, ODPM, London, April 2005
4. Planning Policy Statement 1: Delivering Sustainable Development
5. Planning Policy Guidance 3: Housing
6. Planning Policy Guidance 15: Planning and the Historic Environment
7. The Disability Discrimination Act 1995 (DDA)
8. Planning and Access for Disabled People: A Good Practice Guide from the Office of the Deputy Prime Minister
9. Part M to the Building Regulations: May 2004
10. British Standard 8300; 2001- Code of Practice
11. Lifetime Home Standards, Joseph Rowntree Foundation
12. Wheelchair Housing Design Guide, 1997, BRE Publications
13. Scheme Development Standards, 2003, Fifth Edition

14. The London Plan (Spatial Development Strategy for Greater London), Mayor of London, February 2004.

3. Strategic Environmental Assessment (SEA) & Sustainability Appraisal (SA)

3.1 All DPDs and SPDs will need to undergo Sustainability Appraisal (SA) as required under section 5 of the Planning and Compulsory Purchase Act 2004. SA is a systematic process carried out during plan production; its purpose is to assess the extent to which emerging policies, proposals and supplementary information will help to achieve relevant environmental, social and economic objectives, i.e. sustainable development.

3.2 The European Directive 2001/42/EC requires an 'environmental assessment report' of plans and programmes prepared by public authorities that are likely to have a significant effect upon the environment. This process is referred to commonly as 'strategic environmental assessment' (SEA).

3.3 An Environmental assessment report has to be included as part of this SA report (Appendix 1), under the Strategic Environmental Directive (2001/42 EC), and this has been achieved by combining the two document requirements, in accordance with Annexe 7 of the ODPM guidance as the SEA guidance requirements have been incorporated into the Draft SA guidance¹. This SA Report therefore uses an approach that addresses the requirements of SEA and SA simultaneously, by giving full consideration to environmental issues in compliance with SEA, whilst also addressing the spectrum of socio-economic concerns as required by SA.

4. Reason for the Production of the Accessible Homes SPD and Plan Options

4.1 There are many misconceptions that surround housing provided to meet the needs of people with disabilities. Developers typically perceive Lifetime homes and Wheelchair Standard housing as properties that will require extra space, reduce housing density, and as a specialism separate from the needs of mainstream society. With only 1% of the total new housing stock currently being accessible and approximately 18% of existing dwellings requiring adaptations over the next 30 years, the Council is keen to ensure that all new housing meets the minimum standard for Lifetime Homes.

4.2 A key objective of the Accessible Homes SPD is to demonstrate the links between the Council's planning process, government planning policy and nationally recognised housing standards. The Accessible Homes SPD supports the principles of sustainable design, by actively discouraging design that potentially involves future costly and disruptive adaptations. Furthermore, the SPD actively demonstrates that homes which are ostensibly mainstream in design, can also be accessible to wheelchair users. The SPD introduces design trends which encourage improved social inclusion of disabled people through accessible housing that is integrated across the whole borough.

4.3 The Accessible Homes SPD aims to ensure:

- that new residential developments, including conversions and extensions, are of good quality in order to maintain and enhance the residential component and character of the Borough. More importantly it aims to provide and retain a range of housing types and sizes, of a high standard and design, to meet the varied physical and economic needs of the Borough's residents.

¹ Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Consultation Paper, ODPM, September 2004

- that Wheelchair Housing units should generally be integrated with mainstream housing. This is to ensure that such housing types are integrated and inclusive, thereby also reducing the chances of break-ins to housing which is known to belong to disabled people. Hence the SPD gives extra guidance on how to avoid problems associated with isolation

4.4 Options:

Following the introduction of the Planning and Compulsory Purchase Act 2004 and the publication of a variety of detailed accessible housing documents, a new comprehensive SPD was required. This SPD has been produced under the provisions of the Planning and Compulsory Purchase Act 2004, and Lifetime Homes and Wheelchair Standard Housing regulations.

4.5 It was recommended by the HUDP Planning Inspector that references to any standards within policy H18 ought to be placed in the policy's reasoned justification. To enhance the existing policy it was thought that a SPD would be an ideal tool to implementing the existing Accessible Homes Policy H18. Developing the document as an SPD for the LDF gives it more weight and duration under the new planning system as opposed to developing an SPG to the HUDP. This will ensure that the Accessible Homes SPD can be implemented beyond the three year period of the initial Local Development Scheme (LDS), in which any HUDP policies and SPGs can be saved.

4.6 Due to the fact that the Accessible Homes SPD expands upon an existing saved policy in the HUDP and does not introduce new options or policies, the guidance has been brought out as a SPD as opposed to new policy which would have required the document to be produced as a Development Plan Document (DPD). It was considered a sensible option to progress the document to become an SPD since part of its production had already commenced prior to the LDF system coming into force.

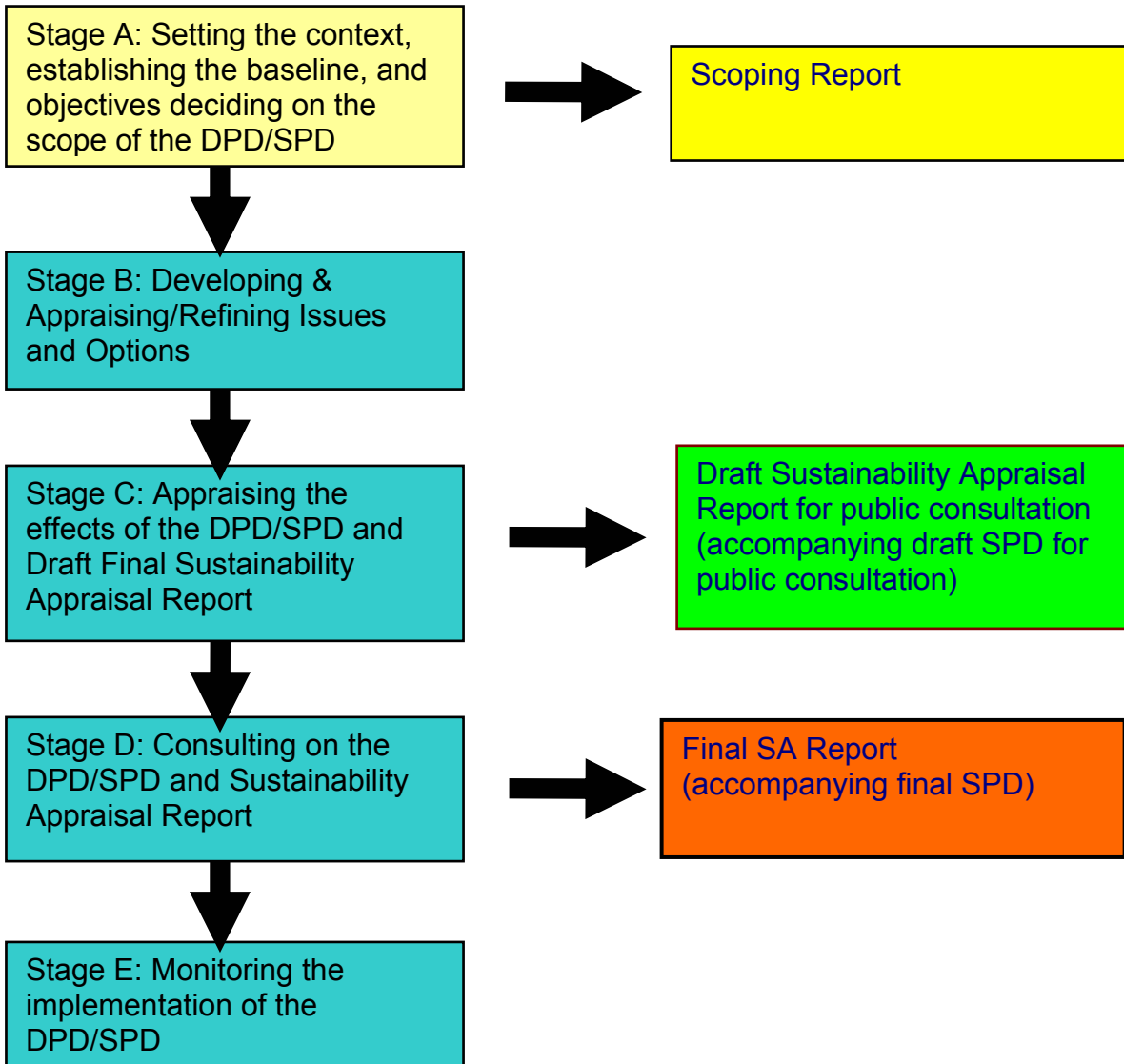
5. The Purposes the Accessible Homes SPD will serve

5.1 The purpose of the SPD is to illustrate examples of well-designed accessible homes in the Borough and a range of good design solutions to these. The SPD has been designed to highlight the most important principles in designing accessible homes and is particularly aimed at developers and builders. The SPD seeks to illustrate the best ways to achieve well-designed accessible homes, that seamlessly integrate with the surrounding area, using a range of property types. The SPD provides practical guidance to developers and demonstrates that with careful planning, Lifetime Home Standards can be introduced without compromising the number of habitable rooms provided otherwise.

6. Sustainability Appraisal Methodology

6.1 The approach adopted to undertake the SA was based on the process set out in the Draft Government Guidance on SA of Regional Spatial Strategies and Local Development Frameworks (September 2004). Figure 1 below demonstrates the stage by stage flow of the SA process and Figure 2 outlines the requirements and tasks to be undertaken within each stage of the SA process.

FIGURE 2: Flow Diagram to Describe the SA Process Stage by Stage:



6.2 At each stage of DPD or SPD production, a sustainability appraisal has been carried out to inform the consultation process, assist in refining policies and proposals and support submitted DPDs during the examination stage. There are five stages within the SA process and upon adoption of the SPD this SA report will enter the final stage, Stage E: Monitoring the implementation of the SPD. This SA also addresses the options appraisal requirements of stage B, which have been clarified in paragraph 4.3. The SA process will develop alongside the progression of the SPD. It should be recognised that systematic consideration of sustainable development requirements has been given throughout the formulation of this SA. Figure 2 (pages 11-12) also demonstrates the tasks involved in the SA process and how these link with the production of DPDs and SPDs.

6.3 The Council is producing an Overarching SA Report of the LDF, which is nearing completion. It identifies appropriate overarching high-level sustainability objectives for appraising policies against, and examines ‘baseline’ conditions in the Borough as required by stage A of the SA process. These overarching objectives have been used in this SA report to assess the Accessible Homes SPD (refer to figure 4 and pages 15-19). This Overarching SA report is referred to as the SA Scoping Report in accordance with the ODPM draft SA guidance (September 2004) and has been designed to provide a foundation for the range of DPDs and SPDs that the Council intends to produce.

FIGURE 2: Sustainability Appraisal Process

Generic SA Stages for Plan making	SA process linkages to the preparation of DPDs and SPDs	Stages and Tasks
<p>Stage A: Gathering information to produce an SA Scoping Report</p>	<p>Prepared alongside the preparation of the evidence base for the relevant DPDs and SPDs.</p>	<p>A1- Identifying other relevant plans, programmes & sustainability objectives relevant to the LDF objectives to document how the plan is affected by outside factors and suggest ideas for how any constraints can be addressed.</p> <p>A2- Collecting relevant economic, social and environmental baseline information to provide an evidence base for sustainability issues, effects prediction and monitoring.</p> <p>A3- Identifying sustainability Issues to help focus the SA and streamline the subsequent stages, including baseline information analysis, setting of the SA Framework, prediction of effects and monitoring.</p> <p>A4- Developing the SA Framework to provide a means by which the sustainability of the plan can be appraised.</p> <p>A5- Testing the DPD/SPD objectives against the SA Framework - to ensure that the overall objectives of the plan are in accordance with sustainability principles and provide a suitable framework for developing options.</p> <p>A6- Consulting on the scope of the SA- The 'authorities' identified by the UK Government in the SEA Directive as being likely to be concerned by the environmental effects of implementing DPDs/SPDs have to be consulted to ensure the SA covers the sustainability issues.</p> <p>The four consultation authorities with environmental responsibilities as set out in Regulation 9 as part of the SEA determination process are:</p> <ol style="list-style-type: none"> 1. The Environment Agency; 2. The Countryside Agency; 3. English Nature; and 4. English Heritage.
<p>Stage B: Identify issues and options and prepare for consultation</p>	<p>Prepared outside the preparation of issues and options.</p>	<p>B1- Appraising issues and Options- To assist in the development and refinement of the options, by identifying potential sustainability effects of options for achieving the DPD/SPD objectives.</p> <p>B2- Consulting on the SA of emerging options of the DPD/SPD- To consult with the public and statutory bodies on the SA of emerging options to ensure the SA covers all the reasonable options and key sustainability issues.</p>

<p>Stage C-Appraising the effects of the draft DPD/SPD and SA report</p>	<p>Prepared alongside the preparation of the preferred options. Consultation on both DPD/SPD and SA report will take place at the same time.</p>	<p>C1- Predicting the effects of the plan, including plan options- to predict the significant effects of the DPD/SPD and the DPD/SPD options. C2- Assessing the effects of the DPD/SPD- to assess the significance of the predicted effects of the DPD/SPD and its options and assist in the refinement of the DPD/SPD. C3- Propose measures to maximise beneficial effects and mitigate adverse effects. C4- Developing proposals for monitoring- To detail the means by which the sustainability performance of the plan can be assessed. C5- Preparing the SA Report- to provide a detailed account of the SA process, including the findings of the appraisal and how it influenced the development of the DPD/SPD, in a format suitable for public consultation and decision-makers.</p>
<p>Stage D- Consultation on the DPD/SPD and Sustainability Appraisal Report</p>	<p>Prepared alongside the preparation of the submission of DPD/SPD. Consultation on both will take place at the same time.</p>	<p>D1- Consulting on the SA Report alongside the DPD/SPD- To provide the public and statutory bodies with an effective opportunity to express their opinions on the SA Report and to use it as a reference point in commenting on the plan. D2 - appraising significant changes- To ensure that any significant changes to the plan are assessed for their sustainability implications and influence the revision of the DPD/SPD. D3 - Decision making and providing information- to provide information on how the SA Report and consultees' opinions were taken into account in preparing the DPD/SPD. Submit DPD/SPD and SA Report to the Secretary of State.</p>
<p>Stage E- Monitoring the Implementation of the DPD/SPD</p>	<p>The sustainability of the Core Strategy DPD / SPD Policies will be assessed as part of the Annual Monitoring Report.</p>	<p>E1- Monitoring the significant effects of the plan- To measure the sustainability performance of the plan in order to determine whether its effects are as anticipated, and thereby inform future revisions. E2 - Responding to adverse effects- to ensure that the adverse effects can be identified and appropriate responses/actions developed.</p>

6.4 Stages followed in assessing the Accessible Homes SPD

This Accessible Homes SA report has addressed stages A-D of the SA process as outlined in Figure 2 above. This SA report accompanying the Accessible Homes SPD was referred to the four consultation authorities with environmental responsibilities as stated in stage A6 of the SA process- (see Figure 2 above).

6.5 The responses to the consultation were positive and were considered in the early development of the draft SPD and SA. The revised draft SPD and SA was then subject to

further statutory consultation². This process invited further statutory and public comment on the documents, these comments were considered, and where appropriate changes to the SPD and SA were made. None of these changes were considered significant enough to merit an options appraisal. This is because most of the changes were minor resulting in further clarification of policy content, and expansion of the explanation of the difference between Lifetime Homes and Wheelchair Accessible Homes. Changes were also made to the grammar, colour and design of the SPD to achieve easier customer reading of the document. This accompanying SA report has also been finalised to reflect the development of the final SPD.

7. Baseline Collection

7.1 The population of the UK is predicted to grow by 7% over the next 30 years, however, the number of disabled people in the UK is expected to rise by 40% according to the Office for National Statistics. 29, 524 people currently have a long-term illness or a disability.

7.2 The latest population projections produced by the Greater London Authority (GLA) (2005 Interim Projections Scenario 8.8) show that by year 2020 it is estimated that half of Harrow's adult population will be aged over 50, with people over 75 being the most rapidly growing sector. With an ever-increasing aging population and the associated likelihood of higher numbers of people with restricted mobility, there is urgent need for design methods based on better understanding of age and disability related factors. The Council therefore sought to adopt guidance that sets clear parameters for the design of housing developments to be of Lifetime and Wheelchair Standards, as decisions taken now will affect Harrow in the decades beyond 2020.

FIGURE 3: Population of Harrow with Limiting Long Term Illness (LLTI) or Disability (2001 Census)

Age Range	Population of Harrow	People with LLTI or Disability	People likely to benefit from Inclusive Design
0-15 years of age	41655	1518	3.64 %
Females 16-59 Males 16-64	129599	13119	10.12 %
Females 60+ Males 65+	33843	14887	43.99 %
*75+	*13750	*7832	*56.96 %
All people	205097	29524	14.40 %

(*figures in italics do not contribute to the total).

² Statutory consultation took place between Friday 2nd December 2005 till Friday 30th December 2005.

7.3 This data informed the need for the Accessible Homes SPD as the potential number of people who would benefit from the provision of lifetime and wheelchair housing is substantial. This observation results from both the number of older and disabled people living in Harrow and because Harrow has a growing aging population. The SPD will work to influence new housing developments to be designed in a way which will reduce the need for adaptations in the future since people mostly prefer to remain in their homes.

7.4 In analysing the implementation of HUDP Policy H18 a number of recent schemes were identified for possible examination. It was decided not to include any housing scheme involving Registered Social Landlords (RSLs) as these are required to be built to acceptable standards by the Housing Corporation as a matter of course. It was also agreed to analyse new schemes rather than adaptations. Baseline data was collected from larger residential schemes to determine whether or not lifetime homes and wheelchair accessible homes have been secured in Harrow. For the purposes of the data collection larger residential schemes were defined as housing schemes of 15 units or above, granted planning permission in Harrow.

7.5 After searching the planning register for this type of planning application seven applications complied with the parameters outlined above. The details of the seven applications were examined against the 16 criteria for Lifetime homes and the 9 criteria for Wheelchair standard homes. Six out of the seven schemes short-listed did not propose any Lifetime home standard housing. Whilst all schemes attempted to provide some percentage of Wheelchair standard housing, none of the units complied with the majority of the stipulated criteria. Hence the need for clearer guidance on the implementation of the policy.

8. The objectives of the Accessible Homes SPD are to:

1. To encourage improved social inclusion for disabled people through accessible housing that is integrated across the borough in its design, location and construction.
2. To promote housing that eliminates the need for potential costly future adaptations
3. To ensure that all new residential property in the borough is designed to be flexible, easy to use and therefore accessible to all occupiers

8.1 These Accessible Homes SPD sustainability objectives have been assessed against environmental factors as required by Annex 1 Article 5(1) of the SEA Directive, to identify the likely significant effects of the Accessible Homes SPD on these environmental factors. The environmental factors detailed in the SEA Directive Annex 1 Article 5(1) are as follows: biodiversity, population, human health, fauna, flora, soil, water, air, climatic factors, material assets, cultural heritage including architectural and archaeological heritage, landscape and the interrelationship between the above factors. (See Appendix 1). This environmental assessment ensures compliance with the SEA Directive requirements as mentioned earlier in paragraph 3.3.

8.2 Appendix 1 details the three sustainability objectives which reflect the context of the Accessible Homes SPD and the sustainability dimensions these objectives address i.e. social, economic and/or environmental. It also demonstrates the proposed actions of the Accessible Homes SPD and the likely impact of these actions on the environmental factors listed above in implementing the Accessible Homes SPD, and whether they are likely to be short, medium or long-term effects. Indicators have also been devised to monitor the implementation of the Accessible Homes SPD objectives.

8.3 These Accessible Homes SPD objectives have also been assessed against the overarching SA objectives contained in the Overarching SA Scoping Report of the LDF that the Council is nearing completion (as mentioned earlier in paragraph 6.3, also see below, figure 4). This is to ensure that the Accessible Homes SPD objectives are consistent with the overall objectives of

the Council's vision proposed for the LDF, and also to test that the SPD objectives meet economic, environmental and social factors.

FIGURE 4: The Overarching SEA/SA Objectives contained in the Overarching SA Scoping Report of the LDF

SEA/SA Objective No.	Overarching SEA/SA Objective	Econ	Soc	Env
1	To make the most efficient use of land by developing on redundant and vacant brownfield sites and buildings, and to ensure that land is remediated as appropriate			✓
2	To protect the quality, quantity and accessibility of open spaces in the Borough			✓
3	To conserve and enhance the ecosystems/habitats, species and species diversity in the Borough			✓
4	To restrict development which can negatively affect the landscape and streetscape and design of historic, archaeological sites (listed buildings and conservation areas) or culturally important features.	✓	✓	✓
5	Reduce road congestion and traffic pollution levels by improving travel choice, reducing the need for travel by car, and shortening the length and duration of journeys	✓	✓	✓
6	To reduce air pollution and ensure air quality continues to improve through addressing the cause of climate change through reducing emissions of greenhouse gases		✓	✓
7	To reduce pollution of land (soil) and water			✓
8	To promote development proposals and/ or policies which consider the implementation of renewable/sustainable energy technologies, which exploit the use of wind, solar and biomass energy	✓		✓
9	Incorporate waste strategies into new developments and promote further the waste hierarchy of minimisation, reuse, recycling and composting			✓
10	To facilitate the development of a dynamic and diverse economic sector which attracts growth, enables partnership working and training and skills development opportunities	✓	✓	
11	To ensure all groups have access to decent, appropriate and affordable housing that meets the needs of Harrow's residents.	✓	✓	✓
12	To reduce social exclusion by improving accessibility to jobs, health, education, shops, leisure, cultural and community facilities to everyone	✓	✓	
13	To improve the health and wellbeing of Harrow residents and reduce inequalities in health	✓	✓	✓
14	To improve the competitiveness, vitality, viability and adaptability of Harrow town centre	✓	✓	
15	To reduce crime and the fear of crime	✓	✓	✓

8.4 The SEA/SA overarching objectives are designed to provide a balance between the three sustainability dimensions of sustainable development, the environment, the economy and society. The ticks (✓) demonstrate which dimensions of sustainability are addressed for each overarching objective.

9. Existing Saved Policy Appraisal

It is a requirement that when appraising an SPD, the unitary development plan (UDP) policies being supplemented should themselves be appraised if this has not previously taken place.³ As mentioned in paragraph 2.1, Accessible Homes SPD supplements policy H18 of the HUDP. The intention of the SPD is to expand on the saved Policy H18, improve its application and avoid any negative impacts. Figure 5 below, demonstrates the appraisal of policy H18 against the overarching SEA/SA objectives of the LDF.

³ Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Interim Advice Note on Frequently Asked Questions, ODPM, London, April 2005

FIGURE 5: Policy H18 Policy Appraisal Chart

		Overarching SEA/SA objectives by Number														
Policy H18 - HUDP saved policy	Short, medium and long term impacts	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
	Short											+	+	+		+
	Medium				-						+	++	++	++		+
	Long				-						+	++	++	++		+

Key:

++	Strong impact
+	Moderate impact
-	Negative impact
	No impact

Assessment of Policy H18:

H18 in relation to SEA/SA objective 4 has been shown in the table to be potentially negative in its implementation impact. There are some areas of potential conflict which will always remain, for example, certain listed buildings and housing which may require changes to be accessible to all and afford equal opportunities to all, may not be adaptable to accommodate appropriate access arrangements as this could compromise the architectural and historic value of the building. It should be noted, however that where adaptations are permissible, potential likely negative impacts can be avoided through the implementation of the Accessible Homes SPD.

In relation to SEA/SA objective 15, disabled people often feel vulnerable to crime, especially if their house conspicuously displays the fact that they are disabled or that disabled people live there. Good design through the application of the Accessible Homes SPD should integrate disabled facilities into the overall design and thereby reduce the fear of crime.

The possible incompatibilities identified between the saved Policy H18 and the Overarching SEA/SA objectives should be mitigated through the application of the Accessible Homes SPD. Hence there is a lack of incompatibilities between the SPD objectives and the Overarching SEA/SA objectives (see figure 6, **page 18**).

FIGURE 6: Compatibility Matrix comparing the Accessible Homes SPD Objectives against the Overarching SEA/SA Objectives of the LDF

OVERARCHING SEA/SA OBJECTIVES OF THE LDF (by number)																	
S P D O B J E C T I V E S		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	
1	+	+			+	+/-						+	+				Objectives are compatible
2	+				+				+	+		+					Objectives have no link
3					+	+/-						+					? Potentially compatible and incompatible Objectives are incompatible

Generally the Accessible Homes SPD objectives performed very well against the sustainability objectives in terms of their compatibility, and the majority of effects identified were very positive. There are two instances where there are likely potential compatible and incompatible links between the overarching LDF objectives and the Accessible Homes SPD objectives identified in the matrix above (figure 6). It is considered that these potential incompatibilities identified do not necessitate the Accessible Homes SPD objectives to be re-written since the actual likely impact or effect of the objectives on one another is dependent on the way in which they are implemented.

Measures and guidance has generally been identified in the Accessible Homes SPD to mitigate potential negative effects or at least require more detailed consideration of the issue at the planning application stage. High visual amenity of new residential developments will be expected to be in-keeping with local heritage and landscape character and distinctiveness and housing layout will be required to contribute towards community safety.

FIGURE 7: Highlights the areas of uncertainty and incompatibility between the implementation of objectives as identified in the matrix above (Figure 6)

SPD Objective	Compatibility uncertainty with overarching SA Objective	Implementation considerations
<p>1) To encourage improved social inclusion for disabled people through accessible housing that is integrated across the borough in its design, location and construction.</p> <p style="text-align: center;">and</p> <p>3) To ensure that all new residential property in the borough is designed to be flexible, easy to use and therefore accessible to all occupiers</p>	<p>5) Reduce road congestion and traffic pollution levels by improving travel choice, reducing the need for travel by car, and shortening the length and duration of journeys</p>	<p>New developments have potential negative impacts via increasing the effects of traffic on the environment. Also design layouts encouraging use of alternatives to the car may have a potentially negative impact, reducing the suitability of developments for providing appropriate housing for disabled people.</p>

10.Next Steps

10.1 The Indicators which have been devised to monitor the implementation of the Accessible Homes SPD objectives (refer to Appendix 1,column 3) will be monitored and further developed on the basis of changes in future baseline as a result of implementation findings.

10.2 Access Statements illustrate a planning applicants commitment to good design principles, ensuring that access remains inclusive to a building throughout its lifetime, and not merely ancillary to its existence. Access Statements are encouraged by the ODPM as part of the development process in their guide Planning and Access for Disabled People: 'A Good Practice Guide' (published March 2003). A key component of the Access Statement submission, is a need to qualify the written statement by way of an accompanying a marked-up plan, clearly illustrating all access provisions and the standards to which they refer. This, in turn, will allow development applications to be dealt with swiftly and efficiently, and moreover, will ensure that appropriate access standards are applied consistently to all qualifying developments. It has therefore been the council's intention to demonstrate the benefits of Access Statements within the SPD, by including an example marked-up plan, specific to Lifetime Homes and Wheelchair Standard Housing. The use of Access Statements will allow for formalised monitoring of access provision within the development control process, and will also allow for efficient future monitoring of the SPD.

**APPENDIX 1: Environmental Assessment
Table to Test the Objectives of the Accessible Homes SPD against the SEA criteria to assess the likely impact of the SPD Objectives on Environmental Factors**

<p>The following indicators will be used to monitor the implementation of the Accessible Homes SPD Objectives</p>											<p>Increased number of buildings and environments designed in accordance with Urban Design principles with accessible features not permitted as compromised afterthoughts.</p>											
<p>The likely significant effects of the Accessible Homes SPD objectives on the SEA Environmental Factors in implementing the SPD. The table also shows the likely duration of these effects.</p>	Material Assets																					
	Landscape & Townscape																					
	Cultural Heritage & Archaeology																					
	Climatic Factors																					
	Air Quality																					
	Water and Soil																					
	Population & Human Health																					
	Biodiversity, Flora & Fauna																					
	Long Term																					
	Medium Term																					
	Short Term																					
<p>Accessible Homes SPD Objectives</p>	Environmental																					
	Economic																					
	Social																					
	<p>To encourage improved social inclusion for disabled people through accessible housing that is integrated across the borough in its design, location and construction.</p>																					

<p>Accessible Homes SPD Objectives</p>	<p>Social</p>	<p>To promote housing that eliminates the need for potential costly future adaptations</p>	+	+	<p>To ensure that all new residential property in the borough is designed to be flexible, easy to use and therefore accessible to all occupiers.</p>	+	
	<p>Economic</p>		+	+		+	
	<p>Environmental</p>		+	+		+	
<p>The likely significant effects of the Accessible Homes SPD objectives on the SEA Environmental Factors in implementing the SPD. The table also shows the likely duration of these effects.</p>	<p>Short Term</p>	<p></p>	✓	✓	<p></p>	✓	
	<p>Medium Term</p>		✓	✓		✓	
	<p>Long Term</p>		✓	✓		✓	
	<p>Biodiversity, Flora & Fauna</p>						
	<p>Population & Human Health</p>		+	+			+
	<p>Water and Soil</p>						
	<p>Air Quality</p>						
	<p>Climatic Factors</p>						
	<p>Cultural Heritage & Archaeology</p>					+	
	<p>Landscape & Townscape</p>					+	+
	<p>Material Assets</p>					+	+
	<p>The following indicators will be used to monitor the implementation of the Accessible Homes SPD Objectives</p>			<p>A noticeable reduction in requests for Disabled Facilities grants or Social Services referrals requiring adaptation of rented accommodation. A significant change in the type of application from major to minor adaptation, ie: eliminating the need to move internal walls, widen doorways, construct ramps, etc.</p>			
						<p>Increased number of buildings and environments designed in accordance with Urban Design principles with accessible features not permitted as compromised afterthoughts.</p>	



Meeting: Strategic Planning Advisory Panel
Date: 14 March 2006
Subject: Harrow Conservation Areas Supplementary Planning Document and accompanying Sustainability Appraisal Scoping Report – Progress report
Responsible Officer: Executive Director (Urban Living)
Contact Officer: Amy Burbidge/Tom Wooldridge
Portfolio Holder: Planning, Development and Housing
Key Decision: No
Status: Part I
Appendices:
1 Draft Sustainability Appraisal Scoping report
2. Draft contents list for the HCA SPD

Section 1: Summary

Decision Required

The Panel is invited to:

1. Note the progress of the Sustainability Appraisal Scoping Report (SA) of the Harrow Conservation Areas Supplementary Planning Document (HCA SPD) and the ideas for the development of the HCA SPD.
2. Comment on the contents list for the HCA SPD

Reason for report

To present the progress of the SA Scoping Report and the ideas for the development of the HCA SPD.

Benefits

The Council will be working towards meeting its statutory requirements under PPG15, and English Heritage's "Guidance on Conservation Area Appraisals" and also towards meeting the approved LDS timetable.

Cost of Proposals

The cost of producing the HCA SPD and accompanying SA will be met within the approved Planning and Development Services Departmental budget.

Risks

Failure to carry out the procedures set down in the Planning and Compulsory Purchase Act 2004 and The Town and Country Planning (Local Development) (England) Regulations 2004 would render the Council open to legal challenge. Delay in meeting the Local Development Scheme (LDS) timetable milestones may also lead to a reduction in the Planning Delivery Grant (PDG).

Implications if recommendations rejected

Delays to the programme leaving conservation areas without any guidance for longer. This will lead to a failure to meet the approved LDS timetable milestone

Section 2: Report

2.1 Brief History

- 2.1.1 At the SPAP meeting on the 1st December 2005, Members recommended that a new approach to the drafting of conservation area appraisals be adopted and this approach was agreed at Cabinet on 15th December 2005. This included the production of a single, overarching Supplementary Planning Document (SPD) on all of Harrow's conservation areas and this report explains the progress that has been made since then on the production of the SPD and its accompanying Sustainability Appraisal (SA).
- 2.1.2 The first draft Scoping Report for the SA has been completed (and is attached as Appendix 1) and sets out, inter alia, the draft objectives of the SPD, what the SPD is likely to cover and potential conflicts or synergies with the overarching objectives of the SEA/SA for the LDF. Initial consultation on the Scoping Report of the Sustainability Appraisal with the 4 statutory bodies is underway and the consultation is due to be completed by the end of March 2006.. Any responses received before the meeting will be reported in an addendum.
- 2.1.3 Some consideration on the content of the SPD itself has also been begun. Appendix 2 contains the outlines of what the SPD could include, with short descriptions where this varies from the current policy guidance contained within the HUDP or the Conservation Area Policy Statements/Appraisals.
- 2.1.4 Relationship with the Core Strategy DPD – the production of this SPD and its accompanying SA will take place alongside work being undertaken on the Core Strategy, and later, the Site Specific Proposals and Generic Development Control Policies DPDs. It will be important to ensure that a this SPD is developed in clear recognition of what will need to be included in other DPDs in relation to Conservation Areas. Bringing this report forward will provide an opportunity to explain the relationship between documents.

2.2. Options Considered

2.2.1 This approach to adopting an overarching SPD followed extensive consideration of the options for producing such documents, and their eventual status. Following the consideration of options, Members resolved that non-SPD appraisals, which would be linked to an overarching conservation area SPD, would be the best approach.

2.3 Consultation

2.3.1 Consultation with the 4 statutory bodies is underway for the SA Scoping Report of the overarching HCA SPD. Informal engagement on the draft HCA SPD will need to be undertaken.

2.4 Financial Implications

2.4.1 Costs are contained within the approved Planning and Development Services Departmental budget.

2.5 Legal Implications

2.5.1 There are no specific legal implications arising out of this particular report. The outcome of the consultation referred to in paragraph 2.3.1 above will inform the preparation of the documentation for approval in due course by the Panel for public consultation.

2.6 Equalities Impact

Conservation areas are open and accessible to all, so their preservation and enhancement benefits all who live in or visit them. One of the objectives of the HCA SPD will be to preserve or enhance conservation areas.

2.7 Section 17 Crime and Disorder Act 1998 Considerations

The SA addresses the issue of crime and fear of crime.

Section 3: Supporting Information/ Background Documents

Appendices

Attached

Background Papers:

English Heritage "Guidance on Conservation Area Appraisals".

Report and Minutes of SPAP Meeting 1st December 2005

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HARROW CONSERVATION AREAS

Supplementary Planning Document

SUSTAINABILITY APPRAISAL SCOPING REPORT (WORKING DRAFT)



FEBRUARY 2006

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How to Comment on the Report

Comments relating to this Sustainability Appraisal [SA] or the 'Harrow Conservation Areas' Supplementary Planning Document [SPD] should be sent to:

The Conservation Team
Harrow Council
Planning & Development Services
5 St. John's Road
Harrow HA1 2EE

Alternatively, comments can be sent by fax on 020 8424 1551.

The Council can accept comments by e-mail relating to this consultation. Please contact Tom Wooldridge on 020 8424 1467 or tom.wooldridge@harrow.gov.uk

Copies of both reports are also available via the planning pages on the Council's website at www.harrow.gov.uk

Comments from this informal consultation must be received by 5.00 pm on **xxx**.

1 Sustainability Appraisal Background and Purpose

Introduction

- 1.1 This Draft Sustainability Appraisal has been prepared by the Conservation Team in collaboration with the Planning Policy team at Harrow Council in December 2005. It has been prepared using the Central Government Guidance "Sustainability Appraisal of Regional Spatial Strategies and Local Development Documents (ODPM, November 2005).
- 1.2 This Harrow Conservation Areas document concerns all of Harrow's Conservation areas and will become a Supplementary Planning Document (SPD) to the saved Harrow Unitary Development Plan and the developing Harrow Local Development Framework (LDF). Under the Planning and Compulsory Purchase Act 2004, it is a legal requirement that all SPDs carry a Sustainability Appraisal (SA). The purpose of the SA is to promote sustainable development by integrating sustainability considerations into the preparation and adoption of planning documents. The Sustainability Appraisal incorporates a Strategic Environmental Assessment (SEA), in order to comply with EC Directive 2001/42/EC. The sustainability criteria that make up the SEA are highlighted in the relevant table.
- 1.3 The Local Development Scheme (LDS), brought into effect in June 2005, outlines the programme for preparing and reviewing Local Development Documents. The LDS includes the timetable for the production of this Harrow Conservation Areas (HCA) Supplementary Planning Document (SPD). SPDs provide additional guidance expanding upon policies in the Harrow Unitary Development Plan (HUDP). The SPD conforms with higher level planning documents and seeks to avoid duplication by developing the policy in greater detail – with specific policies for the local area.

2 Strategic Environmental Assessment (SEA) & Sustainability Appraisal (SA)

- 2.1 All DPDs and SPDs will need to undergo Sustainability Appraisal (SA) as required under section 5 of the Planning and Compulsory Purchase Act 2004. SA is a systematic process carried out during plan production; its purpose is to assess the extent to which emerging policies, proposals and supplementary information will help to achieve relevant environmental, social and economic objectives, i.e. sustainable development.
- 2.2 The European Directive 2001/42/EC requires an 'environmental assessment report' of plans and programmes prepared by public authorities that are likely to have a significant effect upon the environment. This process is referred to commonly as 'strategic environmental assessment' (SEA).
- 2.3 An Environmental assessment report has to be included as part of this SA report (Appendix 1), under the Strategic Environmental Directive (2001/42 EC), and this has been achieved by combining the two document requirements, in accordance with Annexe 7 of the ODPM guidance as the SEA guidance requirements have been incorporated into the Draft SA guidance¹. This SA Report therefore uses an approach that addresses the requirements of SEA and SA simultaneously, by giving full consideration to environmental issues in compliance with SEA, whilst also addressing the spectrum of socio-economic concerns as required by SA.

¹ Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Consultation Paper, ODPM, September 2004

3 Policy Context

- 3.1 The HCA SPD will provide supplementary guidance for Harrow's conservation areas. There are 28 conservation areas in Harrow and the Council has a statutory duty to preserve or enhance their character. In Harrow, the character of the conservation areas is quite diverse; ranging from rural and semi-rural areas to more urban areas.
- 3.2 The Council produces character appraisals of each conservation area. These appraisals are essentially analyses of what makes a conservation area special and highlight proposals and plans to enhance or preserve those qualities. These documents provide the evidence base about the individual conservation areas. The HCA SPD will provide policy support for the individual appraisals of each conservation area and provide the link between the higher level policies contained within the HUDP and LDF by providing more generic policy guidance which is applicable across the conservation areas. It is therefore critical that the SPD and the relevant individual conservation area appraisal are read together.
- 3.3 The HCA SPD is supplementary to the Harrow Unitary Development Plan [HUDP] and will form part of the Local Development Framework [LDF]. The SPD amplifies the following specific policies within the HUDP:

Conservation Areas

D14 THE COUNCIL WILL SEEK TO PRESERVE OR ENHANCE THE CHARACTER OR APPEARANCE OF CONSERVATION AREAS BY:-

- A) SEEKING TO RETAIN BUILDINGS, TREES AND OTHER FEATURES WHICH ARE IMPORTANT TO THE CHARACTER OR APPEARANCE OF THE AREA;**
- B) ALLOWING REDEVELOPMENT ONLY WHEN THE NEW BUILDING WOULD CONTRIBUTE TO THE AREA BY PRESERVING OR ENHANCING ITS CHARACTER OR APPEARANCE;**
- C) WHERE APPROPRIATE, USING ITS POWERS UNDER THE TOWN AND COUNTRY PLANNING ACTS TO SECURE AN ENHANCEMENT OF DERELICT BUILDINGS OR LAND;**
- D) PREPARING SPECIFIC POLICIES AND PROPOSALS FOR EACH CONSERVATION AREA, WITHIN THE FRAMEWORK OF THE PLAN; AND**
- E) PREPARING SUPPLEMENTARY PLANNING GUIDANCE TO BE APPLIED TO EXISTING OR PROPOSED DEVELOPMENT WITHIN CONSERVATION AREAS OR OTHER AREAS REGARDED AS HAVING TOWNSCAPE IMPORTANCE.**

THERE WILL BE A PRESUMPTION AGAINST THE DEMOLITION OF BUILDINGS WHICH MAKE A POSITIVE CONTRIBUTION TO THE CHARACTER OR APPEARANCE OF A CONSERVATION AREA. IF A BUILDING MAKES A NEUTRAL CONTRIBUTION, ITS VALUE WILL BE ASSESSED AGAINST ANY PROPOSED REDEVELOPMENT.

Extensions and Alterations in Conservation Areas

D15 PROPOSALS FOR NEW DEVELOPMENT AND FOR THE ALTERATION AND EXTENSION OF EXISTING BUILDINGS IN CONSERVATION AREAS SHOULD COMPLY WITH THE FOLLOWING CRITERIA:-

- A) THE POSITION OF THE BUILDING ON ITS SITE SHOULD PROPERLY RELATE TO SURROUNDING BUILDINGS AND/OR SPACES;**
- B) MATERIALS AND DETAILING SHOULD BE APPROPRIATE TO THE AREA AND IN KEEPING WITH SURROUNDING BUILDINGS;**
- C) THE DEVELOPMENT SHOULD BE IN SCALE AND HARMONY WITH SURROUNDING BUILDINGS AND**

- THE AREA;**
- D) THE DESIGN SHOULD ENSURE THAT THE PROPORTIONS OF THE PARTS ARE IN SCALE WITH EACH OTHER AND PROPERLY RELATE TO ADJOINING BUILDINGS;**
 - E) THE DEVELOPMENT SHOULD NOT ADVERSELY AFFECT THE STREETScape, ROOFscape, SKYLINE AND SETTING OF THE CONSERVATION AREA, OR SIGNIFICANT VIEWS IN OR OUT OF THE AREA; AND**
 - F) THE DEVELOPMENT SHOULD NOT ADVERSELY AFFECT OPEN SPACES OR GAPS IN THE TOWNScape WHICH CONTRIBUTE TO THE CHARACTER OR APPEARANCE OF THE CONSERVATION AREA.**

Conservation Area Priority

D16 THE PRESERVATION OF THE CHARACTER OR APPEARANCE OF CONSERVATION AREAS MAY BE CONSIDERED TO OVERRIDE OTHER PLAN POLICIES AND BUILDING CONTROL STANDARDS IN APPROPRIATE CASES.

Article 4 Directions

D17 THE COUNCIL WILL SEEK ARTICLE 4 DIRECTIONS WHERE DEVELOPMENT OR USES, ALLOWED BY PERMITTED DEVELOPMENT, WOULD ADVERSELY AFFECT THE CHARACTER AND SETTING OF CONSERVATION AREAS OR LISTED BUILDINGS.

- 3.4 It should be noted however that other relevant policies in the HUDP will be referred to in the development of this SPD.
- 3.5 A literature review of the other plans, policies, programmes, strategies and initiatives (PPPSIs) that will influence the SPD will be set out in Section 4 of this document.

Section 4: Supporting Information/ Background Documents

Policy Review/Background Documents

4.1 The Harrow Conservation Areas SPD will be influenced in various ways by other PPPSIs operating on a number of levels. The relationships between these and the SPD need to be identified so that potential links can be exploited and conflicts and constraints can be resolved. Therefore a review of the key documents has been undertaken to identify these and to help develop the appropriate social, environmental and economic objectives for the HCA SPD.
 These documents fall into two groups – those that influence the content of the SPD and those that influence its method of production. They are analysed in the 2 tables below.

4.2 PPPSIs which influence the Content of the SPD

Policy/Document	Policy/Document Purpose	Impact on the SPD
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Name		
Planning Policy Statement 1	PPS 1 sets the overarching policies on the delivery of sustainable development through the planning system.	Sets framework for SPD aims -protecting and enhancing the natural and historic environment -ensuring high quality development and the efficient use of resources -advancing wider economic, social and environmental objectives for the conservation areas.
Planning (Listed Buildings and Conservation Areas) Act 1990	This is the primary legislation which sets out the Council's duties in regard to conservation areas.	The SPD will set out its policy in regard to the designation of conservation areas, and to their review in line with the 1990 Act. It must also provide information about how it will assess the character of the areas and draw up proposals for their future management.
PPG15: Planning and the Historic Environment	PPG15 is government guidance which advises the council on how conservation areas should be managed for their preservation and enhancement	The SPD will apply this to Harrow's conservation areas and set out policies in regard to the preservation and enhancement of the areas along with explaining the link between the SPD and the individual character appraisals and management plans for each area.
PPG16 Archaeology and Planning	This PPG sets out the government's policy on archaeological remains on land and how they should be preserved or recorded.	The SPD will address archaeology, in so far as how it has an impact in the conservation areas.
Town and Country Planning (General Permitted Development) Order 1995	Single family dwelling houses have a number of permitted development rights under this order so that certain works can be carried out without requiring planning permission. The designation of a conservation area reduces these rights and the Council is encouraged in PPG15 to further restrict rights for damaging small scale alterations through the service of Article 4 directions.	The SPD will address what generally requires consent in conservation areas, the implications of article 4 directions, the Council's position regarding the wider use of Article 4 directions as well as guidance on why such alterations may be damaging the character of conservation areas.
English Heritage: Guidance on the Management of Conservation Areas	This document provides advice on developing policies for conservation areas and is fundamental to this SPD. The guidance sets out the role SPDs should have in conservation areas.	The SPD will need to address all the key topics covered in this document such as designation of areas, character appraisals, management and enhancement of areas and regeneration.
English Heritage "Guidance on	This document is aimed at helping Local Authorities draft	The appraisals are intrinsically linked to the SPD. They form the evidence base

Conservation Area Appraisals”	the individual character appraisals for each conservation area. It develops the guidance provided in Conservation Area Appraisals (English Heritage, March 1997)	describing the character of the area which should be preserved and enhanced, while the SPD provides the policies and guidance which allow such preservation and enhancement to take place.
The London Plan	This is the Mayor of London’s spatial development strategy and the relevant regional planning document. Policies 4B.10 London’s Built Heritage, 4B.11 Heritage Conservation and 4B.12 Historic conservation-led regeneration are directly relevant.	The SPD will help to: <ul style="list-style-type: none"> • Enhance the contribution of built heritage to London’s environment; • Use historic assets to accommodate growth in a sustainable manner; • Base protection of historic assets on understanding of special character; • Identify opportunities for enhancement; • Use the protection of historical assets to advance wider regeneration objectives.
Community Strategy for Harrow	<p>The Community Strategy sets out a vision for Harrow and identifies 8 priority issues relating to improving the wellbeing of people, the quality of the environment in Harrow and enhancing public sector performance. These priority areas have individual targets and mission statements but all work towards the overall vision which is expressed as:</p> <p>“A borough that is safe, clean, healthy and prosperous, with equal life opportunities for all – a friendly and vibrant place to be”.</p> <p>The 8 priority issues are: Empowering local communities Children and Young People Greener Harrow Healthy Harrow Learning for All Making ICT work for Harrow Regenerating Harrow Safer Harrow</p>	Key issues for the SPD will be how it can contribute to sustainable development and regeneration objectives as well as facilitating the preservation and enhancement of the streetscene, open spaces and quality design to make Harrow greener. In addition, it will help empower local communities through the spread of knowledge and pride about the areas where they work and live as well as involving them in the production of the character appraisals and management plans for their area.

	Stemming from these priorities, the Council develops Corporate Objectives each year.	
Harrow Unitary Development Plan	Many UDP policies affect development in conservation areas. However key policies are D14, D15, D16 and D17	These policies will be amplified in the SPD. Furthermore, since some of the detailed guidance contained within the HUDP will not, in future, be transferred across into the Core Policy of the LDF, this SPD will effectively replace and build upon the detailed guidance contained within these policies
Harrow Local Development Framework	The Harrow LDF is being developed	This SPD sits within this framework, as part of the development plan.
Harrow Local Development Scheme Agreed by Cabinet 23rd June 2005	The LDS sets out what the Council is seeking to produce as part of the LDF on a rolling 3 year programme.	The LDS sets out the Council's intentions to produce this SPD along with a programme for the production of the individual appraisals.

<p>Conservation Area Policy Statements and Appraisals and Management Plans</p>	<p>These documents flow from the SPD. They form the evidence base describing the character of the area which should be preserved and enhanced, while the SPD provides the policies and guidance which allow such preservation and enhancement to take place. Historically these documents were known as Conservation Area Policy Statements (CAPS) and were adopted as SPG. However, to align with the Local Development Framework, the documents are now being developed as Appraisals and Management Plans which are not part of the development plan, but which are formally adopted documents detailing the special character of each area. They will be analysed in detail later in this section.</p>	<p>The SPD will provide the overall generic guidance which must be read alongside the specific analysis of character as detailed in the appraisals. The management plans will identify opportunities for enhancement, requirements for additional controls and will identify which of the generic policies within the SPD are applicable in that individual conservation area.</p>
<p>Harrow Cultural Strategy</p>	<p>This is the local framework for cultural planning including both arts and leisure. The cultural strategy includes the historic environment as part of the wider cultural resource and focuses chiefly on Council owned historic sites, but conservation areas have a part to play.</p>	<p>The SPD will address the cultural value of conservation areas from a strategic angle, while the individual appraisals will provide the detailed analysis of the value of each area.</p>
<p>Harrow Tourism Strategy</p>	<p>This is a new initiative aimed at increasing the scope of tourism within the Borough. The historic environment in Harrow is a key draw for tourists particularly certain conservation areas such as those in Harrow on the Hill and around Grimsdyke.</p>	<p>The SPD will, in examining the economic impacts of conservation areas, also examine the role of conservation areas in meeting the tourism strategy.</p>
<p>New Harrow Project</p>	<p>This is a major Council initiative which works towards meeting the Strategic Objective of making Harrow's environment better. This is achieved through area management and delivery of services related to the public</p>	<p>The streets and pavements of the Council's conservation areas are integral to their character and high quality maintenance and design is essential in safeguarding their special character. The public realm will therefore be addressed in some detail in the SPD including how it is maintained, enhancement opportunities</p>

4.3 Some of the most relevant procedural documents reviewed for the production of the 'HCA' SPD and this SA Report are listed below:

1. The Strategic Environmental Assessment Directive: Guidance for Planning Authorities. ODPM, London, October 2003
2. Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Consultation Paper, ODPM, September 2004
3. Sustainability Appraisal of Regional Spatial Strategies and Local Development Frameworks: Interim Advise Note on Frequently Asked Questions, ODPM, London, April 2005
4. The London Plan (Spatial Development Strategy for Greater London), Mayor of London, February 2004.
5. PPS 12: Local Development Frameworks 2004
6. English Heritage: Guidance on the Management of Conservation Areas 2005

5 Baseline Data – to be completed

5.1 A baseline data review was undertaken to identify local social, economic and environmental issues that would be relevant to the production of the HCA SPD. The most important task in carrying out a SA of the HCA SPD was to establish the likely significant effect of the content of the SPD against social, economic and environmental factors, in accordance with the requirements of the SEA Directive and the Planning and Compulsory Purchase Act 2004. Environmental factors have the closest links, given the topic, but other factors are important too.

5.2 National Data about Conservation Areas

There are currently some 372,038 listed building entries, 19,717 scheduled monuments and 9,374 conservation areas in England (English Heritage, Heritage Counts 2005).

5.3 London wide data on Conservation Areas

As of August 2005, there were 949 conservation areas across London with an average of 29 per Borough. Harrow, with 28 of its own, is therefore absolutely average compared with other boroughs (Heritage Counts London 2005). In London during the year 2001/2 there were 1005 substantial planning applications in conservation areas. This equates to 1.1 major applications per conservation area per year in London, compared with the national average of 0.6 per year.

5.4 Harrow data

The Borough of Harrow contains 28 conservation areas. 7.6% of land of the Borough is contained within a conservation area, equating to 384 hectares. The conservation areas have been designated over time, with the earliest conservation areas being designated in 1968 and the most recent in 2002. The conservation areas are located throughout the Borough, although they are generally clustered around the historic settlements of Harrow on the Hill, Pinner, Stanmore and Edgware. The conservation areas vary significantly in character from commercial centres such as Pinner and Edgware High Streets to rural enclaves such as Pinnerwood Farm and Brookshill Drive. Most of the conservation areas contain a number of listed and locally listed buildings. Some also include nationally or locally registered historic parks and gardens, scheduled ancient monuments and archaeological priority areas. There are over 3400 dwellings situated in conservation areas, containing approximately 8750 residents. Conservation areas tend to have higher property rental and sale values. This is often a by-product of the designation of areas. Conservation area related planning applications account for x% of all planning applications received by the Local Planning Authority (**TBC**). %of planning applications then go on to be appealed **TBC**. The % of those that are dismissed is x, while those that are allowed is y (TBC). There is therefore significant development pressure in Harrow's conservation areas and proposed works in conservation areas affect a significant number of people who live there, as well as those working in or visiting the areas. Four of the ten District Centres in Harrow contain conservation areas and so they form part of this important local resource, however, there are no conservation areas within Harrow town centre which is the major shopping destination within the Borough. All trees receive special protection in conservation areas but in addition, the Council has the option of serving Tree Preservation Orders (TPOS) on those it considers are of particularly high quality. Harrow's conservation areas contain 15% of all the trees in the Borough with Tree Preservation Orders showing the high environmental quality within the conservation areas.

- 5.5 This SPD is concerned with all of the conservation areas, so it is useful to review them, as they provide the background detailed information. In many instances, this is contained within the published conservation area appraisals or conservation area policy statements. However, where these are not available, the original designation statements have been reviewed along with in house knowledge about the issues and pressures in each conservation area to provide a snap shot of each conservation area in this document.

FIGURE 1: Baseline data on each conservation area:

	Conservation Area Title and description	Designation date Appraisal Other controls	Key issues
1	<p>Little Common conservation area varies from one part to another, with the principal road, Stanmore Hill, for example, being more densely built and urban. In contrast, other areas have a more rural, peaceful air. The trees and open spaces provided by Stanmore Common surround and interact with the attractive groups of buildings in Little Common, imparting much of the special landscape and qualities of the conservation area. Originally common land, dwellings would have developed in a piecemeal fashion but once the larger estates were established, smaller scale houses were built as accommodation for servants who worked there.</p>	<p>Designated in 1970 and extended in 1987 and 2003 Article 4 direction SPG Conservation Area Policy Statement adopted 2003</p>	<p>Occasional inappropriate developments involving buildings of intrusive, scale bulk or design, or the alteration and extension of existing historic buildings in an obtrusive and unsuccessful manner The installation of inappropriate modern materials, such as plastic windows, or loss of historic features such as decorative ridge tiles or poorly executed repairs The poor design, quality and siting of some elements of street furniture and pavement surfaces The lack of maintenance/use of some buildings</p>
2	<p>Stanmore Hill conservation area is composed of a mix of residential and commercial property. The linear settlement along Stanmore Hill developed to serve travellers along this major route. Stanmore Hill and the top of Green Lane have a dense, urban character, while further down Green Lane, large detached houses in spacious grounds dominate. The sloping nature of the roads, but also the mix of interesting buildings in attractive groups and small areas of public open space create much of the townscape quality of the area.</p>	<p>Designated 1975, extended 1980, 1991 and 2003 Article 4 direction Conservation Area Policy Statement adopted 2003</p>	<p>Occasional inappropriate developments involving buildings of intrusive, scale bulk or design, or the alteration and extension of existing historic buildings in an obtrusive and unsuccessful manner The installation of inappropriate modern materials, such as plastic windows and intrusive modern shopfronts. Parking/traffic on Green Lane Quality of the public realm – particularly the open spaces</p>

3	<p>Old Church Lane conservation area contains an unusual mix of very old and important buildings and 1930s development in an "Old-World" style which attempts, and succeeds, in mimicking the historic buildings around it. Although there has been some more recent development and the area is close to the hustle and bustle of Stanmore town centre, it still retains its picturesque charm, which is quite different in character to the rest of Stanmore.</p>	<p>Designated 1975, extended 1991, 1996 and 2003 Appraisal due for adoption March 2006 Article 4 direction Archaeological Priority Area</p>	<p>Poor repair of Bernays Garden and Cowsheds Churchyard on Buildings at Risk list Pressure for small scale alterations, but new Article 4 direction imposed</p>
4	<p>Pinner High Street is a remarkable survival. It is essentially a medieval village, with one of the largest concentrations of timber framed buildings in Greater London, which has been surrounded, yet not obliterated by, 20th century suburban development. Though the true nature of many of these buildings is hidden by later alterations and many early buildings have been replaced the area still retains its distinctive village character.</p>	<p>Designated 1968, extended 1991 and Draft appraisal under revision Article 4 direction Archaeological Priority Area</p>	<p>Pressure for development behind the frontage properties Small scale alterations to non listed buildings Quality of public realm materials and maintenance Shopfronts and signage alterations</p>
5	<p>Tookes Green is a residential area comprising many fine examples of houses dating from the 16th century until the first half of the 20th century. It has built up along the ancient rural lanes that have long been associated with the medieval village of Pinner. The focal point of the area is a small triangular green with its distinctive granite drinking fountain.</p>	<p>Designated in 1971 and extended in 1988</p>	<p>Some inappropriate modern development Small scale alterations to non listed buildings Quality of public realm materials and maintenance.</p>
6	<p>Roxeth Hill conservation area's character is derived from a mixture of architectural styles combined with significant tree masses and the steep gradient of the Hill itself. The lower reaches of the conservation area have a small scale modest character in terms of size, height and frontage, with terraced buildings built directly onto the pavement or behind small front gardens. Higher up the Hill there are more large institutional buildings or individual large houses such as West Hill Hall and Byron House which are set within larger plots.</p>	<p>Designated in 1969</p>	<p>Some inappropriate modern development Small scale alterations to non listed buildings Parking and traffic pressure on Roxeth Hill.</p>

7	<p>Harrow School is a unique part of Harrow and contains buildings that are some of the most well known in the area. St Mary's Church which sits atop the hill is visible from all over the Borough. Just below it, the rooftops of Old Schools and Harrow School chapel are also visible. Large dramatic buildings almost exclusively fill the conservation area. Open space downhill of the buildings acts as a setting and buffer to the conservation area, separating it from other parts of the Hill. The topography and quality of the buildings combine to make this area particularly striking. The use of the area by the School is key to its character.</p>	<p>Designated 1968. Appraisal due for adoption March 2006</p>	<p>Balancing the needs of the School to expand and operate with the qualities of the area. The School is integral to the area's character and generally an excellent curator of the area. Cars and traffic cause problems for road safety, visual clutter and there is local pressure for speed reductions. Quality of the public realm does not meet the high standards of the buildings</p>
8	<p>Harrow Park comprises 13 houses and outbuildings within extensive grounds. Its character is derived from the open nature of the grounds of the golf course and the very low density of the development. Extensive planting and tree cover combine with these factors to provide an almost rural setting.</p>	<p>Designated 1969, extended 1990 Article 4 direction SPG Conservation Area Policy Statement adopted 1991 Registered Historic Park and Garden</p>	<p>Protection of sense of openness – limit extent and amount of extensions although development pressure in the conservation area is low as the houses are generally very large in any event Importance of views to and from the area. The area has changed very little in the years since the production of its conservation area policy statement.</p>
9	<p>Harrow on the Hill Village has a compact townscape that follows the contours of the Hill. The higher density buildings clustered around West St and Crown St make up the core of the village, whilst more prominent buildings, reflecting their commercial use and association with the School, line the High Street. This compact townscape reflects the medieval origins of the settlement. The topography, tight knit grain combine to create a unique character. This is further enhanced by the adjacent open spaces, which help to divorce the area from the surrounding suburban sprawl.</p>	<p>Designated 1968 Article 4 directions SPG Policy Statement adopted 1992 and a number of design guides</p>	<p>Traffic flows over the hill and parking detract from its character. Small householder alterations Enhance vitality of area through retaining commercial uses Pressure for large redevelopments</p>
10	<p>Sudbury Hill conservation area's form is dictated to a great extent by the road, which provides a linear focus. The diversity of the architecture, together with a rich</p>	<p>Designated 1969 and extended 1992 SPG Conservation Area</p>	<p>Occasional inappropriate large developments and small scale alterations to dwellings Traffic and parking</p>

	landscape setting and backdrop combine with the gradient and changes in direction of the roads to create an attractive varied townscape.	Policy Statement adopted 1994	
11	Grimsdyke Estate and Brookshill Conservation Area has a rural character and is sited on the Harrow Weald Ridge.	Designated in 1980 and extended in 1986, 1991 and 1997 Draft and management plan appraisal underway	Lack of use for agricultural buildings presents a problem Small scale alterations and extensions to the buildings. Ensuring that the rural character of the road, which is not surfaced and has no pavements, is retained. These elements will be addressed in detail in the appraisal and management plan for the area
12	West Drive conservation area represents the remnants of a large estate and includes some former service buildings associated with the main house. It is laid out in an informal manner with buildings dotted throughout the area. This coupled with the substantial amounts of open space which surround the conservation area give it a semi rural character.	Designated in 1978 and extended in 1991.	Some inappropriate infill development exists Small scale alterations to dwellings/houses Need to keep informality of streetscene.
13	Kerry Avenue conservation area is primarily residential consisting of mainly interwar, modern movement architecture, with some post war homes of quality. The existence of the area is due to the extension of the Underground to Stanmore, and Kerry Avenue's symmetrical layout, on the axis of the station, represents a very good example of the formal estate layout of the 1930s.	Designated in 1980 and extended in 1991 and 1998 Article 4 direction SPG Conservation Area Policy Statement adopted 1999	Replacement of original windows and doors with those of non traditional materials/styles Addition of rough cast/pebble dashing to the elevations Unsympathetic alterations to front gardens – boundary walls and hardsurfacing.
14	Pinnerwood Park conservation area comprises a number of inter war houses situated in a mature, landscaped setting and designed in the Garden City tradition. The area has a distinctive and rather cosy character derived from the uniformity and style of the buildings, their layout and the extensive, mature trees and planted areas which exist throughout the area.	Designated in 1989 Article 4 directions SPG Policy Statement adopted 1990 and a number of specific design guides	Pressure for small scale alterations to replace windows, doors and hard-surface front gardens for additional off street parking. Limited proposals for large extensions, roof alterations. Some problems with traffic and maintenance of the public realm.

15	<p>Edgware High Street Conservation Area contains some of the oldest surviving buildings in Edgware, with semi-rural timber framed buildings on the High Street and a Victorian terrace on Whitchurch Lane. The area forms a large part of the remaining portion of the old village of Edgware centred on the old Roman road of Watling Street, before suburban growth and road widening from the late 19th century onwards considerably altered the area's appearance</p>	<p>Designated 1980 and extended 1991 Draft appraisal and management plan underway</p>	<p>Poor treatment of streetscape, with poor surfacing, signage, furniture etc The location – busy and congested with traffic Ad hoc building projects that have detracted from any historical unity Shop fronts largely unsympathetic</p>
16	<p>Waxwell Lane conservation area in Pinner has a mixed character. It contains some fine listed timber framed buildings as well as some modest Victorian buildings. It reflects the linear settlement along Waxwell lane and Bridge Street, and has a fairly compact townscape. This is contrasted by the openness of the park, behind the frontage, which provides additional greenery as a setting for the area.</p>	<p>Designated in 1980 and extended in 1988 and 1991</p>	<p>Repair and upkeep of the park Pressure for small scale alterations to the houses</p>
17	<p>Waxwell Close is a small group of inter-war houses set around a central open space. The quality and uniformity of the architecture gives the area a harmonious character. Mature trees and landscaping contribute significantly to the area, and give it a sense of seclusion from the street.</p>	<p>Designated in 1980</p>	<p>The houses retain their uniformity at present, but without an Article 4 Direction, this is at risk. The uniformity of the buildings is essential to the area's character.</p>
18	<p>East End Farm is a remarkable survival of a hamlet of medieval origins, which was grouped around a farm. The farmhouse, barns and outbuildings survive grouped around the farmyard, along with other historical houses. Remnants of open space still exist. It represents the very rare survival of a farmstead in Greater London.</p>	<p>Designated 1980 Article 4 direction SPG Conservation Area Policy Statement adopted 2002 Archaeological priority area</p>	<p>Lack of use of the agricultural buildings and their inclusion on the Buildings at Risk list Pressure for new housing development on the open space within the area and on its boundaries Loss of rural character through alterations of hedgerows and hardsurfacing – controlled by Article 4 direction</p>
19	<p>Pinnerwood Farm conservation area is a small group of buildings of character with gardens, ponds and trees grouped around Pinnerwood Farm. It forms an enclave in</p>	<p>Designated in 1980</p>	<p>The area is given significant protection by its Green Belt location which helps to secure the openness, which is integral to the character of</p>

	<p>the Green Belt, isolated from the suburban development around it. The scene has changed little in the last 100 years and the area is full of interest as an example of an earlier, rural life.</p>		<p>the area, is retained. Rural uses (stabling) still exist in the area and add to its character, but these uses are under threat throughout the Borough. The loss of an appropriate use such as this would be detrimental to the character of the area.</p>
20	<p>South Hill Avenue has an open character with a varied and often informal layout. It was developed as a garden suburb and so is low in density with a leafy and open townscape. Its topography creates attracts views within the area, which is mainly residential and relatively tranquil. Its architecture falls into 2 broad categories – Victorian and Edwardian houses of some size and scale and houses built between 1910-35 which are often in an Arts and Crafts style.</p>	<p>Designated 1980 and extended 1982 and 1990. Article 4 direction SPG Conservation Area Policy Statement adopted 1991</p>	<p>Examples of erosion in the character of the area are relatively few and the character and feel of the area remain intact. Pressure for hardsurfacing and more urban boundary treatments exists but is controlled through article 4 directions and enforcement. Pressure for extensions to the smaller dwellings and new buildings and loss of openness about the houses exists throughout the area.</p>
21	<p>Mount Park is characterised by large houses, set in extensive plots supporting large forest trees. Little hard urban form intrudes into this, at some points, almost rural setting. The area comprises late Victorian and Edwardian houses of architectural quality with a few inter war houses. Examples of erosion in the character of the area are relatively few and the character and feel of the area remain intact.</p>	<p>Designated 1980 and extended in 1982 Article 4 direction SPG Conservation Area Policy Statement adopted 1989</p>	<p>Pressure for subdivision of houses and plots of build new houses along with extensions to existing buildings Pressure for harder, more urban boundary treatments resulting in the loss of hedgerows along with increased hard surfacing for car parking. Traffic and parking associated with St Dominic's College. Small scale alterations to doors and windows, which are not currently controlled by the Article 4 Direction.</p>
22	<p>Roxborough Park contains a number of areas of different character. There is significant open space and footpaths criss cross the area. Roxborough Park is a residential</p>	<p>Designated 1980 and extended 1991 SPG Conservation Area</p>	<p>Small scale alterations (replacement windows, doors, rooflights) currently not controlled as no Article 4 direction in place.</p>

	<p>area of large mid Victorian, Edwardian and modern houses. Peterborough Road and Grove Hill have detached large Victorian houses. All of these areas are unified by having plenty of open space, mature trees and planting. Landsdowne and Whitehall Roads are more urban with tighter plots and less open space.</p>	<p>Policy Statement adopted 1993</p>	<p>Problems identified with on street parking now resolved by controlled parking zone. Major roads run through the area. Major developments in the town centre and above railway line likely to affect its character and views in and out of the area. Pressure for redevelopment of large houses as flats. As a large residential area, it is important to ensure that householders are aware of their responsibilities and understand why their homes are considered special.</p>
23	<p>Moss Lane conservation area contains largely Edwardian houses set in mature landscaped settings. The road has numerous twists and turns, and this, combined with a lack of pavements and kerbs, help to retain its original rural character.</p>	<p>Designated in 1988</p>	<p>Pressure for small scale developments to the houses and hardsurfacing front gardens, which would reduce the semi rural character. Pressure for extensions to the side and rear of buildings would reduce the openness. Pressure for institutional uses, at odds with the residential, peaceful character.</p>
24	<p>Pinner Hill Estate is entirely within residential use apart from the Golf Club and course. It has a rural character derived from the large, open plots, tree cover, soft grass verges and low density of development. Much of the estate was laid out in the 1930s with the houses having a cottage style despite their size, however a wide variety of architectural styles exist on the estate. It is the landscaping and setting which ties the area together to make a cohesive whole.</p>	<p>Designated 1990 Article 4 directions SPG Conservation Area Policy Statement adopted 1990 Part Scheduled Ancient Monument</p>	<p>Hardsurfacing gardens for parking and new accesses to drives has a detrimental impact on the soft landscaped setting. This is controlled through enforcement and Article 4 directions. Targeted by thieves as a wealthy area and consequent pressure for security measures. Pressure for extensions to houses – Green Belt designation and conservation area design guidance help to overcome this.</p>
25	<p>West Towers is a typical, though outstanding, example of 1930s Metroland. While there are many areas in Harrow of a similar style, this area merits conservation status because of its quality of architectural detailing which has remained largely unaltered. It also represents a group of</p>	<p>Designated 1990 Article 4 directions SPG Conservation Area Policy Statement adopted 1990</p>	<p>Pressure for extensions to the houses in the form roof extensions, single and double storey side and rear extensions which can prejudice the character of the area. The appraisal provides design guidance to help overcome this.</p>

	buildings of a distinct physical identity and cohesiveness.		<p>The houses are now over 70 years old and pressure for replacement windows, doors and tiles exists, although this is controlled by article 4 directions. Design guidance and maintenance advice is contained within the policy statement. There is pressure for houses to be re-developed as flats outside the conservation area, but thus far this has not been proposed within the area itself.</p> <p>As a large residential area, it is important to ensure that householders are aware of their responsibilities and understand why their homes are considered special.</p>
26	<p>Canons Park includes a large part of the original Canons Estate – a substantial 18th century mansion built for the Duke of Chandos. Some of the parkland setting, landscape features, estate roads and buildings survive within the area, much of it now a public park. In the 1930s residential development took place on the Estate creating a well-designed residential area with a ‘romantic appearance’ with traditionally designed buildings hidden amongst abundant trees and shrubs. Despite some new buildings, the character of the area has not changed greatly from its original designation.</p>	<p>Designated 1990 Register of Historic Parks and Gardens Article 4 direction SPG Policy Statement adopted 1990 Archaeological Priority Area</p>	<p>Loss of front gardens to parking – controlled via article 4 directions and enforcement</p> <p>Small scale changes to houses – controlled in part by Article 4 direction but this does not include changes to windows and doors</p> <p>Some inappropriate infill development – gradually being replaced with more appropriate houses</p> <p>Degradation of park – increasing Council investment and grant aid principally from the Heritage Lottery Fund Public Parks Programme aimed at restoring the park.</p> <p>Pressure for extension of the area</p>
27	<p>Eastcote Village (part) Following a Boundary Commission in 1993, the boundaries between Hillingdon and Harrow were varied so that Harrow inherited a small portion of the conservation area. The entire conservation area is quite large, however, the area in Harrow’s jurisdiction is very small, and covers only two houses on Cuckoo Hill and four on Birchmead Avenue. Eastcote conservation area as a whole is epitomised more by its</p>	<p>Designated 1972/3 Shared with LB Hillingdon</p>	<p>Small scale alterations to dwellings and pressure for side extensions would reduce the openness of the area.</p>

	<p>open spaces than the buildings themselves, although there are some very good historic survivals. The area in Harrow's jurisdiction benefits from open space to the South and south west, giving a sense of openness, providing greenery and because of its informal scrub nature, acting as an interesting foil to the suburban development. .</p>		
28	<p>Rayners Lane is an area of classic Metroland that developed around a Tube Station. The conservation area is of interest as it is forms the centrepiece of a large 1930s residential development with fine groups of buildings in the Modernist and Art Deco style surrounded by a distinctive group of shops and flats in the house style of the developer.</p>	Designated 2002	<p>Small scale changes to shopfronts and flats Problems with street clutter Former cinema is on Buildings at Risk list.</p>

6 Reason for the Production of the HCA SPD

- 6.1 In the past, the Council has relied upon the policies within the HUDP together with the individual character appraisals of each area to provide an analysis of their character, strengths and weaknesses and policies and plans to safeguard and enhance conservation areas. These appraisals were known as Conservation Area Policy Statements (CAPS) and, following public consultation, were adopted as Supplementary Planning Guidance (SPG). The Council decided not to undertake individual SPDs for each conservation area, but rather to undertake one overarching SPD which would be generic to all the conservation areas. This new HCA SPD document was therefore conceived to both act as a link between the HUDP/LDF higher level policy, and the detailed local guidance contained within the area appraisals.
- 6.2 The decision to follow this approach was developed on the basis of 2 English Heritage (EH) statements, "*Guidance on the Management of Conservation areas*" and "*Guidance on Conservation Area Appraisals*" issued in August 2005. EH advocated that the existing Conservation Area Policy Statement SPGs be replaced with conservation area appraisals and management plans. The guidance also suggested that a small number of SPDs in relation to conservation areas should be produced, to provide the policy basis for the appraisals – either as (a) a single overarching SPD for all the conservation areas, (b) individual SPDs on specific issues within conservation areas, or (c) grouping similar areas together to be assessed within one SPD. These options are considered in more detail in section 5 below.
- 6.3 The SPD is also required to be produced as it is set out in the Council's LDS. It is important that this SPD be produced early in the process because preparation of the appraisals, which flow and draw weight from this SPD are very important at appeals. In addition, the Government has also recently introduced Best Value Performance Indicator (BVPI) 219 (effective from 1st April 2005), which focuses on the production of conservation area character appraisals and their frequent review (every 5 years) and so having the overarching SPD in place early, allows a timely programme for the production of these appraisal documents. This BVPI may be part of the consideration for assessment of future Planning Delivery Grant.

7 Options:

A) Appraisals as SPDs:

This option would involve drafting individual SPDs for each conservation area, which would give the appraisal and management plan itself maximum weight as it would be part of the development plan. This would be beneficial because often it is what needs to be preserved that is a matter of argument at appeal, (i.e. the appraisal), rather than the principle of preserving key features (i.e. the policies) itself.

However, this would not follow the English Heritage guidance which says that “*A conservation area character appraisal, with or without a related management strategy, cannot itself be an SPD*”. In addition, SPDs are much slower to produce because of the need to undertake scoping work and Sustainability Appraisal/Strategic Environmental Assessment (SA/SEA), meaning that many areas would be left unprotected for longer and the Council would have difficulty meeting its BVPI target unless significant additional resources were to be provided.

B) Appraisals annexed to a small number of Conservation SPDs

While EH are clear that appraisals cannot specifically be an SPD, they do say that for complex or major conservation areas, or for parts of the Borough, separate conservation SPDs could be drafted. So for instance, the Council could produce one SPD for all eight Harrow on the Hill conservation areas and include the individual character analyses and management plans for each area within that one document. Similarly an SPD on 1930s conservation areas across the Borough could be drafted with individual appraisals for Kerry Avenue, West Towers etc annexed within that. This approach would have the benefit of having the analysis of character within the SPD and therefore would afford the appraisals the same weight as the policy.

However, this approach would be quite slow as sustainability appraisals and environmental assessments would need to be carried out on the group SPDs. It would also mean a fundamental rearranging of the programme because, for instance, all the Harrow on the Hill studies would need to be completed together in order for publication within an SPD. Therefore areas such as Harrow Park and Sudbury Hill, which have relatively recent guidance, could potentially be prioritised above areas such as Pinner High Street, which has no adopted guidance at all. How many conservation areas were contained in any one SPD and the mix therein would also be a matter for debate. Again this slower production method would have implications for the BVPI performance and would leave some conservation areas without appraisals for longer.

c) Appraisals as supporting documents ie not SPDs

As outlined above, English Heritage suggest an approach where one generic policy document for all conservation areas would become adopted SPD, thereby having the greatest weight. This would complement the conservation area policies in the Core Strategy DPD. The appraisals would be supporting documents, outside the development plan, but linked to the SPD. Provided that the new overarching conservation area SPD is carefully drafted to provide a link to appraisals/management plans, (and vice versa that the appraisal and plan cross refer to the policies in the SPD and Core Strategy DPD), then this would afford considerable protection to the conservation areas. The SPD would replicate all the policies currently held in the appraisals, and also add more. It might provide policy guidance on, for example, important views and vistas, demolition, securing good design quality and other common conservation area issues. Additional individual SPDs could be produced in time on specific design issues or development briefs such as Borough wide guidance on shopfronts/signage in historic areas. The appraisals themselves would be subject to substantial public consultation in line with EH advice, and the emerging Statement of Community Involvement. This third option has the benefit of being the least time consuming as it involves, initially, just one SPD and therefore one SA/SEA. It would allow the appraisals to be undertaken separately to the SPD and to an agreed timetable (set out below). However, the appraisals would have less weight than they do at present, although the policies would have more, being contained within the overarching document.

On balance therefore, and in view of ODPM and EH guidance, the Council agreed that third approach (c) should be adopted in Harrow.

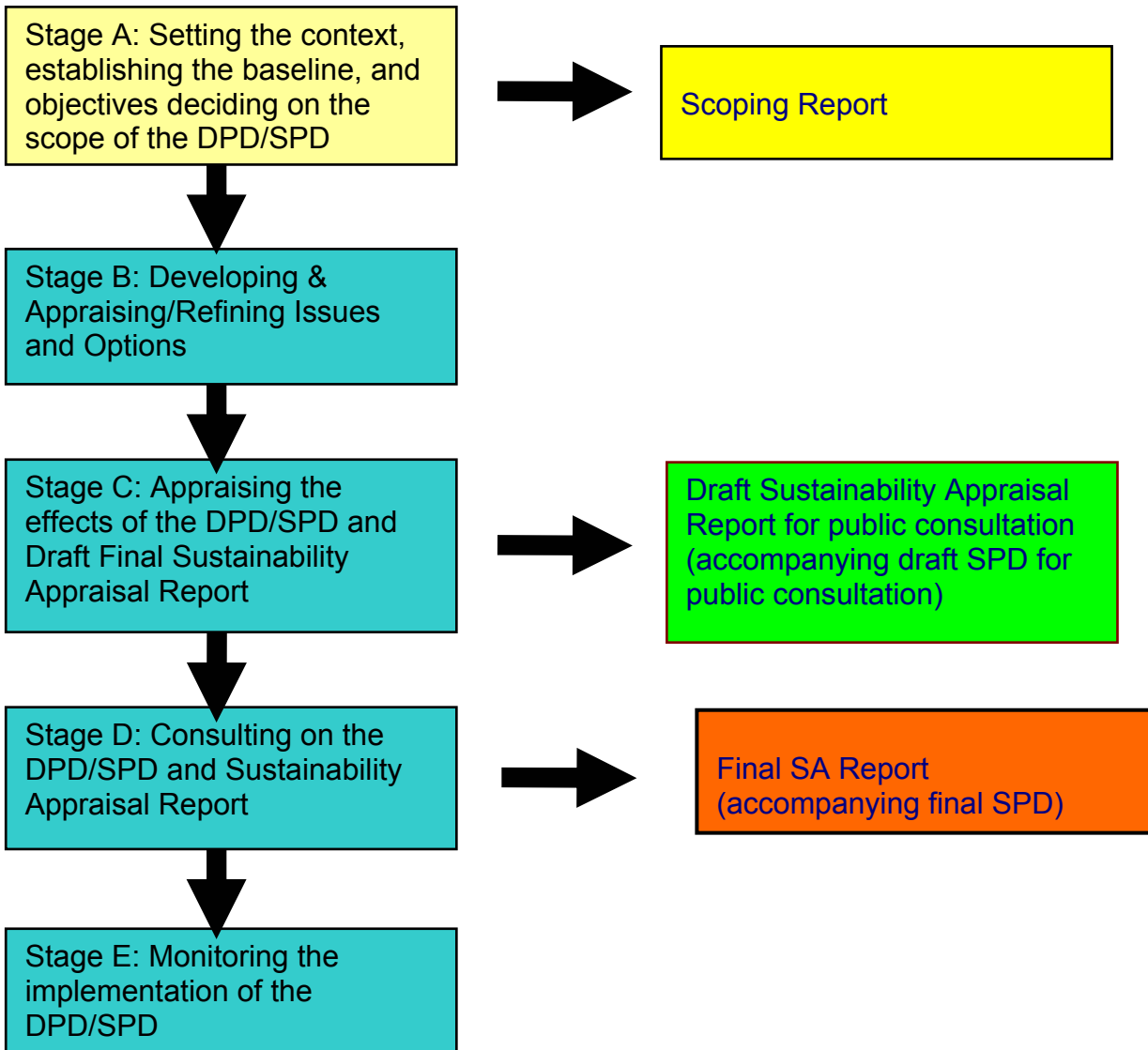
8 The HCA SPD aims to ensure:

- The overall objective that the Borough's conservation areas are preserved and enhanced
- That conservation areas are designated and reviewed where appropriate
- That conservation areas receive individual character appraisal and management plans

9. Sustainability Appraisal Methodology

9.1 The approach adopted to undertake the SA was based on the process set out in the Draft Government Guidance on SA of Regional Spatial Strategies and Local Development Frameworks (September 2004). Figure 1 below demonstrates the stage by stage flow of the SA process and Figure 2 outlines the requirements and tasks to be undertaken within each stage of the SA process.

FIGURE 2: Flow Diagram to Describe the SA Process Stage by Stage:



9.2 At each stage of DPD or SPD production, a sustainability appraisal will be carried out to inform the consultation process, assist in refining policies and proposals and support submitted DPDs during the examination stage. There are five stages within the SA process and currently this SA report has addressed the tasks of stage A to stage C. It also addresses the options appraisal requirements of stage B, which have been clarified in paragraph 4.3. The SA process will develop alongside the progression of the SPD. It should be recognised that informal consideration of sustainable development requirements has been given throughout the formulation of this SA, as have all aims included in the Mobility & Wheelchair Housing SPD. Figure 2 (pages 11-12) also demonstrates the tasks involved in the SA process and how these link with the production of DPDs and SPDs.

9.3 The Council is producing an Overarching SA Report of the LDF, which is nearing completion. It identifies appropriate overarching high-level objectives for appraising policies against, and examines 'baseline' conditions in the Borough as required by stage A

of the SA process. These overarching objectives have been used in this SA report assessment of the Mobility & Wheelchair Housing SPD (refer to figure 4 and pages 15-19). This Overarching SA report is referred to as the SA Scoping Report in accordance with the ODPM draft SA guidance (September 2004) and has been designed to provide a foundation for the range of DPDs and SPDs that the Council intends to produce, but will if necessary be updated during the early stages of DPD or SPD production to ensure that the information and analysis it contains remain relevant. It will also be updated should any significant changes occur to the final ODPM SA guidance was due to be published in October 2005.

FIGURE 3: Sustainability Appraisal Process

Generic SA Stages for Plan making	SA process linkages to the preparation of DPDs and SPDs	Stages and Tasks
Stage A: Gathering information to produce an SA Scoping Report	Prepared alongside the preparation of the evidence base for the relevant DPDs and SPDs.	<p>A1- Identifying other relevant plans, programmes & sustainability objectives relevant to the LDF objectives to document how the plan is affected by outside factors and suggest ideas for how any constraints can be addressed.</p> <p>A2- Collecting relevant economic, social and environmental baseline information to provide an evidence base for sustainability issues, effects prediction and monitoring.</p> <p>A3- Identifying sustainability Issues to help focus the SA and streamline the subsequent stages, including baseline information analysis, setting of the SA Framework, prediction of effects and monitoring.</p> <p>A4- Developing the SA Framework to provide a means by which the sustainability of the plan can be appraised.</p> <p>A5- Testing the DPD/SPD objectives against the SA Framework - to ensure that the overall objectives of the plan are in accordance with sustainability principles and provide a suitable framework for developing options.</p> <p>A6- Consulting on the scope of the SA- The 'authorities' identified by the UK Government in the SEA Directive as being likely to be concerned by the environmental effects of implementing DPDs/SPDs have to be consulted to ensure the SA covers the sustainability issues.</p> <p>The four consultation authorities with environmental responsibilities as set out in Regulation 9 as part of the SEA determination process are:</p> <ol style="list-style-type: none"> 1. The Environment Agency; 2. The Countryside Agency; 3. English Nature; and 4. English Heritage.
Stage B: Identify issues and options and prepare for consultation	Prepared outside the preparation of issues and options.	<p>B1- Appraising issues and Options- To assist in the development and refinement of the options, by identifying potential sustainability effects of options for achieving the DPD/SPD objectives.</p> <p>B2- Consulting on the SA of emerging options of the DPD/SPD- To consult with the public and statutory bodies on the SA of emerging options to ensure the SA covers all the reasonable options and key sustainability issues.</p>

<p>Stage C-Appraising the effects of the draft DPD/SPD and SA report</p>	<p>Prepared alongside the preparation of the preferred options. Consultation on both DPD/SPD and SA report will take place at the sametime.</p>	<p>C1- Predicting the effects of the plan, including plan options- to predict the significant effects of the DPD/SPD and the DPD/SPD options. C2- Assessing the effects of the DPD/SPD- to assess the significance of the predicted effects of the DPD/SPD and its options and assist in the refinement of the DPD/SPD. C3- Propose measures to maximise beneficial effects and mitigate adverse effects. C4-Developing proposals for monitoring- To detail the means by which the sustainability performance of the plan can be assessed. C5- Preparing the SA Report- to provide a detailed account of the SA process, including the findings of the appraisal and how it influenced the development of the DPD/SPD, in a format suitable for public consultation and decision-makers.</p>
<p>Stage D- Consultation on the DPD/SPD and Sustainability Appraisal Report</p>	<p>Prepared alongside the preparation of the submission of DPD/SPD. Consultation on both will take place at the same time.</p>	<p>D1- Consulting on the SA Report alongside the DPD/SPD- To provide the public and statutory bodies with an effective opportunity to express their opinions on the SA Report and to use it as a reference point in commenting on the plan. D2 - appraising significant changes- To ensure that any significant changes to the plan are assessed for their sustainability implications and influence the revision of the DPD/SPD. D3 - Decision making and providing information- to provide information on how the SA Report and consultees' opinions were taken into account in preparing the DPD/SPD. Submit DPD/SPD and SA Report to the Secretary of State.</p>
<p>Stage E- Monitoring the Implementation of the DPD/SPD</p>	<p>The sustainability of the Core Strategy DPD / SPD Policies will be assessed as part of the Annual Monitoring Report.</p>	<p>E1- Monitoring the significant effects of the plan- To measure the sustainability performance of the plan in order to determine whether its effects are as anticipated, and thereby inform future revisions. E2 - Responding to adverse effects- to ensure that the adverse effects can be identified and appropriate responses/actions developed.</p>

9.4 Stages followed in assessing the Harrow Conservation Areas SPD

This HCA SA report has addressed stages A-C of the SA process as outlined in Figure 2 above. This SA report accompanying the HCA SPD was referred to the four consultation authorities with environmental responsibilities as stated in stage A6 of the SA process. See Figure 2 above. The responses to the consultation were xxxx and have been summarised in the HCA Consultation Statement.

10. The objectives of the Harrow Conservation Areas SPD

10.1 In developing the SA, a number of important matters that the SPD should cover have been established. These are:

- Expand and provide guidance on policies contained within the current HUDP and the forthcoming Core Strategy
- Set out the Council's approach on promoting sustainable development in conservation areas
- Provide guidance to the wider public about what conservation areas are, where they are located in Harrow
- Set out the Council's approach to analysing the special character of areas and the production of conservation area appraisals for each area
- Set out the Council's approach in actively enhancing the character of the conservation areas through management strategies for each area and ways of attracting inward investment
- Specific detailed guidance on key issues such as demolition in conservation areas, open space and new uses within conservation areas to aid the development control process
- Set out the Council's approach on the designation of conservation areas and Article 4 directions
- To promote and provide guidance on high quality design solutions within conservation areas
- Identify any areas in need of more in depth conservation and regeneration as part of the Area Action plan process
- Assessing the contribution of conservation areas to the Harrow economy and their cultural value

10.2 However, additional matters may arise through the process of developing and consulting upon the SPD.

10.3 Following the assessment of the relevant background information and baseline data, a number of objectives have been developed for the SPD. These are:

- 1 To secure the preservation of the conservation areas
- 2 To identify enhancements for conservation areas
- 3 Promote awareness, understanding and enjoyment of the Borough's conservation areas

10.4 These Harrow Conservation Areas SPD sustainability objectives have been assessed against environmental factors as required by Annex 1 Article 5(1) of the SEA Directive, to identify the likely significant effects of HCA SPD on these environmental factors. The environmental factors detailed in the SEA Directive Annex 1 Article 5(1) are as follows: biodiversity, population, human health, fauna, flora, soil, water, air, climatic factors, material assets, cultural heritage including architectural and archaeological heritage, landscape and the interrelationship between the above factors. (See Appendix 1). This environmental assessment ensures compliance with the SEA Directive requirements as mentioned earlier in paragraph 3.3.

FIGURE 4: The Overarching SEA/SA Objectives contained in the Overarching SA Scoping Report of the LDF

SEA/SA Objective No.	Overarching SEA/SA Objective	Econ	Soc	Env
1	To make the most efficient use of land by developing on redundant and vacant brownfield sites and buildings, and to ensure that land is remediated as appropriate			✓
2	To protect the quality, quantity and accessibility of open spaces in the Borough			✓
3	To conserve and enhance the ecosystems/habitats, species and species diversity in the Borough			✓
4	To restrict development which can negatively affect the landscape and streetscape and design of historic, archaeological sites (listed buildings and conservation areas) or culturally important features.	✓	✓	✓
5	Reduce road congestion and traffic pollution levels by improving travel choice, reducing the need for travel by car, and shortening the length and duration of journeys	✓	✓	✓
6	To reduce air pollution and ensure air quality continues to improve through addressing the cause of climate change through reducing emissions of greenhouse gases		✓	✓
7	To reduce pollution of land (soil) and water			✓
8	To promote development proposals and/ or policies which consider the implementation of renewable/sustainable energy technologies, which exploit the use of wind, solar and biomass energy	✓		✓
9	Incorporate waste strategies into new developments and promote further the waste hierarchy of minimisation, reuse, recycling and composting			✓
10	To facilitate the development of a dynamic and diverse economic sector which attracts growth, enables partnership	✓	✓	

	working and training and skills development opportunities			
11	To ensure all groups have access to decent, appropriate and affordable housing that meets the needs of Harrow's residents.	✓	✓	✓
12	To reduce social exclusion by improving accessibility to jobs, health, education, shops, leisure, cultural and community facilities to everyone	✓	✓	
13	To improve the health and wellbeing of Harrow residents and reduce inequalities in health	✓	✓	✓
14	To improve the competitiveness, vitality, viability and adaptability of Harrow town centre	✓	✓	
15	To reduce crime and the fear of crime	✓	✓	✓

10.5 The SEA/SA overarching objectives are designed to provide a balance between the three sustainability dimensions of sustainable development, the environment, the economy and society. The ticks (✓) demonstrate which dimensions of sustainability are addressed for each overarching objective.

11. Assessing the Overarching SEA/SA Objectives against the HCA SPD objectives

FIGURE 5: Compatibility Matrix comparing the HCA SPD Objectives against the Overarching SEA/SA Objectives of the LDF

		OVERARCHING SEA/SA OBJECTIVES OF THE LDF (by number)															
S P D O B J E C T I V E S		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	
	1	+/-	+	+	+					+/-			?				+
	2	+	+	+	+					+/-		+					
	3		?	+	+					+				?			

+	Objectives are compatible
	Objectives have no link
?	Uncertain link
+/-	Potentially compatible and incompatible
-	Objectives are incompatible

FIGURE 6: Detailed commentary on the compatibility matrix comparing the HCA SPD Objectives against the Overarching SEA/SA Objectives of the LDF

1	<p>SPD will contain policies about identifying buildings that do not contribute positively to the area and could with benefit be redeveloped. The details will be set out in the appraisals and management strategies that will flow from the SPD.</p> <p>Will provide generic advice about potential extensions/ alteration to existing properties to keep them in active use as well as repair methods which would allow the continued use of existing buildings.</p> <p>Potential Conflict – Preservation of conservation areas where low density is part of their character could conflict with proposals for development.</p>
2	<p>SPD will contain policies about the identification and protection of important open space in conservation areas, as well as gaps between buildings, which may contribute to the sense of openness of an area.</p> <p>The SPD will highlight the importance of enhancing conservation areas and the management strategies which flow from the SPD may be able to help target funding to open spaces through grant aid and enhancement schemes</p> <p>The SPD will set out the Council's views towards serving more Article 4 directions to protect soft landscaped front gardens, which while in private ownership, contribute to</p>

	street side greenery.
3	<p>The SPD will contain policies about the importance of trees and hedgerows to conservation areas and the individual appraisals will identify where they make a particular contribution to the area's character and should be safeguarded.</p> <p>Trees in conservation areas are given additional protection, protection of gardens The SPD will set out the Council's views towards serving more Article 4 directions to protect soft landscaped front gardens which can contribute to local biodiversity.</p> <p>The SPD will highlight the importance of enhancing conservation areas and the management strategies which flow from the SPD may be able to help target funding to open spaces through grant aid and enhancement schemes which while aimed at the historic environment, may have habitat benefits too.</p>
4	<p>This is the most directly linked of all the objectives: The SPD will set policies to protect the areas, address design and conservation area issues and streetscape matters. It will assess cultural value of conservation areas as part of the historic environment of Harrow. It, or the appraisals and management strategies that flow from it, may provide educational benefits of guidance and history about people's own areas - in particular by having the potential to renew the interest of local people in heritage and local history and raising awareness of conservation issues, thereby enhancing community identify and participation.</p>
5	
6	
7	
8	<p>The SPD will address issues of sustainable construction in relation to the historic environment. It will discuss the embodied energy that historic buildings represent and that they are a finite resource which themselves need to be managed sustainably.</p> <p>Potential conflict about visual impact of solar panels/wind turbines on historic areas and about double glazing and its impact on historic buildings</p>
9	
10	<p>The SPD will address heritage led regeneration and how this has already contributed economically to Harrow.</p> <p>The SPD will address the links between tourism and heritage and meeting the Borough's Tourism Strategy objectives by better use and education about the historic environment in Harrow.</p> <p>The SPD will highlight that enhancement opportunities may include the potential for grant schemes which would enhance the local economy, although the details of these will be set out in the management strategies.</p> <p>Potential conflict – the designation of conservation areas can cause higher house prices and higher costs of repairs/alterations are associated with historic buildings</p>
11	<p>The SPD will identify policies to encourage high quality development, which may include affordable housing.</p>
12	<p>The SPD and the appraisals, along with their process of adoption and consultation will provide additional information and knowledge about the conservation areas where people live, and which are open to all.</p>

13	
14	
15	The SPD will encourage good design and well-designed schemes should include designing out crime for the public realm and private developments.

11.1 Generally the HCA SPD objectives performed very well against the sustainability objectives in terms of their compatibility, and the majority of effects identified were very positive. There are 3 instances where there are likely potential compatible and incompatible links between the overarching LDF objectives and the HCA SPD objectives identified in the matrix above (figure 6). It is considered that these potential incompatibilities identified do not necessitate the HCA SPD objectives to be re-written since the actual likely impact or effect of the objectives on one another is dependent on the way in which they are implemented

12.Next Steps

12.1 The next stages in the SA process will be completed alongside the development of the HCA SPD and responses received to this SA Report will be taken into consideration. Indicators to monitor the SPD objectives have been devised to enable effective monitoring of the SPD in its implementation. The proposals will be monitored on an annual basis as part of the Annual Monitoring Report for the Local Development Framework. The process of the control of development through planning applications will assist with monitoring along with monitoring the outcomes of appeals. Links to the public in the areas through local residents associations, amenity groups and the Conservation Areas Advisory Committee will also provide monitoring for the SPD.

Appendix 2:



**HARROW CONSERVATION
AREAS
Supplementary Planning Document
(WORKING DRAFT)**



FEBRUARY 2006

Working Contents List

Text in italics explains what the subheadings mean, where this differs from published guidance in the HUDP.

Foreword by Council Leader

1 Introduction

- What is a conservation area?
- Role of the SPD -*Objectives as outlined in the SA (To secure the preservation of the conservation areas, to identify enhancements for conservation areas, promote awareness, understanding and enjoyment of the Borough's conservation areas)*

2 Harrow's Conservation Areas in Context

- Potted history of Harrow – *emphasis on historical maps rather than text*
- Archaeological/geological background
- Harrow today – *population, census info, main changes and issues, as identified in the Community Strategy*
- Overarching aims of the Community Strategy
- Map showing all the Harrow cons areas

3 Defining Conservation Areas – Designation and Appraisal

- Designation of conservation areas
- Criteria for inclusion – *Based on existing UDP criteria but need to include the recent EH advice that local views should be part of the reasoning behind a decision to designate*
- Measuring Change in Conservation Areas – *Describing a systematic approach to assessing buildings in cons areas in order to have a factual basis for assessing how altered from the original designed form they are in order to help designation decisions*
- Amending conservation area boundaries

- Potential new conservation areas - *Indicates that there is good coverage of most historic periods of development in Harrow, however predominantly Victorian/Edwardian conservation areas are rarer, apart from a cluster on Harrow on the Hill. The Victorian/Edwardian era saw massive expansion in built stock across England so this rarity does not reflect the national trend. In addition, much of the Victorian/Edwardian cons area stock tends to be "higher status" housing, such as the large houses on Moss Lane, rather than reflecting the mix of middle and working class housing. Therefore, the Borough may wish to give consideration to the designation of more Victorian lower status housing areas..*

Why is it important to define the special interest of conservation areas?

Conservation Area Appraisal Documents in Harrow - *discusses the new approach of cons appraisals and management strategies*

4 Managing Conservation Areas

- New development in conservation areas -

This would contain all the new devt type policies already contained in the existing policy statements and general principles – use CABE guidance on designing new devt to include topics such as:

High quality design which enriches the conservation area

Relating to the lie of the land/history of the place, existing routes and development patterns

Being in scale and harmony with existing buildings, proportions of the parts are in scale with themselves and other buildings

Respecting views, skyline

Respect openness and gaps

Using materials, detailing and building methods appropriate to the area and surrounding buildings

- Demolition in conservation areas

Replicates EH criteria on whether buildings make a positive contribution to the character of a cons area and therefore the presumption against demolition

- Special Requirements for permission

Demolition in conservation areas

Additional requirements in conservation areas – protection of trees, standard householder restrictions

Article 4 Directions

Areas of Special Advertisement Control

Defining material alterations in conservation area

5 Specific problems in Harrow's Conservation Areas

Pressure for window replacements

Shopfronts and Signage

Agricultural areas and buildings/Pressure for suburbanisation of urban-rural fringe – *Difficulty of finding new uses for agric buildings eg East End Farm, Cannons Farm Barn, Pinner Park Farm, Suzanne's Riding Stables*

Telecommunications developments

Quality of the public realm – *Impact of area based mgt, aiming at improving design quality across the public realm*

6 Enhancing Conservation Areas

Conservation led regeneration – *general principles, examples in Harrow.*

Potential for regen projects – Rayners Lane cons area, Bernays garden

Highlighting opportunities for enhancement in the management strategies

Encouraging Maintenance – local grants schemes and advice

Potential for attracting external investment

The public realm – *lead on from the issues above – ways of building in quality, regular audits etc*

Planning gain and conservation areas – *set out opportunities to better use S106 funding and to link it to the cons area management strategies*

The Council's stewardship role – *enforcement, own assets, link to asset management plan?*

Future projects – *Bernays Garden, Grimsdyke Estate garden restoration*

Opportunities for public education and involving the community

7 The work of the voluntary sector

CAAC

Harrow Heritage Trust

Other amenity groups – HoH Forum etc

8 Valuing Conservation Areas

Regeneration and heritage – *economic value of heritage*

Tourism – *links to tourism strategy*

Cultural value – *links to Cultural Strategy*

Sustainability – historic buildings as a finite resource, renewables

Appendices: tbc

Conservation Areas – Residential Planning Guidelines document

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Meeting: Strategic Planning Advisory Panel
Date: 14 March 2006
Subject: Conservation Area Appraisal and Management Strategy for Rayners Lane conservation area
Responsible Officer: Executive Director (Urban Living)
Contact Officer: Amy Burbidge/Tom Wooldridge
Portfolio Holder: Planning, Development and Housing
Key Decision: No
Status: Part I
Appendix:
1 Rayners Lane Conservation Area Appraisal and Management Strategy

Section 1: Summary

Decision Required

The Panel is invited to:

- (1) Consider the revised draft of the Rayners Lane Conservation Area Appraisal and Management Strategy and subject thereto,
- (2) Recommend the said revised draft to the Portfolio Holder for formal adoption

Reason for report

The Planning (Listed Buildings and Conservation Areas) Act 1990 advises Local Planning Authorities to review their conservation areas and publish proposals for their preservation and enhancement and the appraisals and strategies within this report seek to fulfill that objective. In addition, Members agreed a programme of completing conservation area appraisals and management strategies and this report seeks to meet that programme as well as seeking to improve the Council's performance against the new Best value Performance Indicator (BVPI219) which assesses the number of conservation areas with up to date appraisals.

Benefits

The Council will be working towards its statutory requirements and towards improving its performance against BVPI 219 on conservation areas.

Cost of Proposals

Costs to be contained within the existing Planning and Development Services budget.

Risks

Not having specific proposals for individual conservation areas reduces opportunities for seeking external grant funding for projects and increases the likelihood of losing planning appeals

Implications if recommendations rejected

Delays to the programme leaving conservation areas without any guidance for longer and impacting on BVPI 219.

Section 2: Report

2.1 Brief History

- 2.1.2 On 19th September 2002, Unitary Development Plan Panel resolved to recommend to Cabinet that a small part of Rayners Lane be designated as a conservation area and that a draft study of the area be published for public consultation purposes. Government guidance in PPG15 (Planning and the Historic Environment) asks for wide consultation when formulating proposals for the preservation and enhancement of conservation areas, and English Heritage's recently published, "*Guidance on Conservation Area Appraisals*" encourages public consultation and involvement to ensure that the resulting documents have more weight within the planning framework. Cabinet agreed these recommendations at the meeting on 15th October 2002.
- 2.1.3 The area is now a conservation area and this report seeks to agree the final version of the study to be adopted by the Council.
- 2.1.4 All the owners/occupiers of properties within the conservation area were sent a copy of the Draft Study asking for comments. Copies of the Draft Study were also sent to all 14 members of the Conservation Areas Advisory Committee who represent local and national amenity societies, the Pinner Local History Society, the Pinner Association, Harrow Heritage Trust, and English Heritage. The draft study was published on the Council's web page and a public exhibition held in Rayners Lane Library.
- 2.1.5 There were 3 letters in response and 1 telephone call. All the letters and the phonecall welcomed the designation of the conservation area. One letter, from the Pinner Association, questioned whether it would be possible to restrict permitted development rights in respect of shopfronts and signage. Since these buildings do not have permitted development rights this is considered unnecessary, but the revised management

- strategy does make clear what requires planning permission in terms of changes to shopfronts and signage and advises what would be considered appropriate. One letter, from a local businessman, was concerned that the area may have been too altered and that the designation was too late as well as other matters to do with street cleansing and investment in the buildings.
- 2.1.6 Following the receipt of these letters, and the advent of new guidance on the preparation of conservation area appraisals from English Heritage in 2005, mentioned above, the study was revised. The substance of the study was not changed significantly, but it was split into 2 parts, in line with the English Heritage guidance – the conservation area appraisal and secondly the management strategy. A greater emphasis on enhancing and resolving problems in the area was included in this second revision, along with clarifying the first draft to address comments received in the public consultation.
- 2.1.7 All owners and occupiers in the conservation area have been informed of the revised draft, which was made available on the Council's website and in Rayners Lane library. The revised version was sent to all the previous correspondents, as well as all Members of Conservation Areas Advisory Committee. To date no comments have been received, but any late comments will be reported in an addendum to the Committee.
- 2.1.8 A copy of the final version, to be agreed for adoption by the Council, is attached as **Appendix 1**.

2.2. Options Considered

- 2.2.1 This approach to adopting the appraisals and management strategies followed extensive consideration of the options for producing such documents, and their eventual status. Following the consideration of options at the SPAP meeting on 1st December 2005, Cabinet resolved on 15th December 2005 that non-SPD appraisals which would be linked to an overarching conservation area SPD would be the best approach. The production of the "Harrow Conservation Areas SPD" is dealt with as a separate item on the agenda. These appraisals follow that agreed structure and have been re-written to link them to the emerging overarching SPD, as well as the existing policy framework.

2.3 Consultation

- 2.3.1 This report sets out the detailed consultation undertaken on the conservation area appraisal and management strategy.

2.4 Financial Implications

- 2.4.1 The costs associated with the study mainly relate to its initial drafting, which has already been undertaken within existing resources. There are cost implications for the printing of the final study, but making significant use of the Council's website should reduce the need to produce significant numbers of these documents. In addition, the Council already charges a small fee for printed copies, which helps to recoup the costs of the initial

printing. These amounts are therefore likely to be minimal and can be contained within existing budgets.

2.5 Legal Implications

2.5.1 The Rayners Lane Conservation Area Appraisal and Management Strategy, when adopted, will be a material consideration in the determination of development applications within its area.

2.6 Equalities Impact

None

2.7 Section 17 Crime and Disorder Act 1998 Considerations

None

Section 3: Supporting Information/ Background Documents

English Heritage "Guidance on Conservation Area Appraisals".
Minutes and Report for the Unitary Development Plan Panel 19th September 2002
Minutes and report for Cabinet 15th October 2002
Letters received in response to the Consultation

RAYNERS LANE

Draft

CONSERVATION AREA APPRAISAL

AREA 28



Rayner's Lane is an area of classic Metroland that developed around a Tube Station. The conservation area is of interest as it forms the centrepiece of a large 1930s residential development with fine groups of buildings in the Modernist and Art Deco style surrounded by a distinctive group of shops and flats in the house style of the developer.

Rayners Lane Conservation Area was designated in October 2002 and this is the first area appraisal and management strategy for the conservation area. It is situated in the centre of the Rayners Lane suburb, to the south of the underground station.



455-463
Alexandra
Avenue

*Narrow gauge
railway used in
the construction of
the Nash estate*



The purpose of this appraisal is to provide a clear analysis of the architectural importance and character and appearance of the area, which will help form the basis for making sustainable decisions about the future of the area. The appraisal is linked to the Management Strategy for the conservation area, which identifies opportunities for enhancement along with policies to protect the character of the area.

Planning Policy Context

This appraisal and management strategy are set within the broader context of conservation

area policy guidance for Harrow contained within the HUDP, the emerging LDF and the forthcoming Harrow Conservation Areas Supplementary Planning Document. It is also set within national policy guidance provided by PPG15 and the 1990 Town and Country Planning Act.

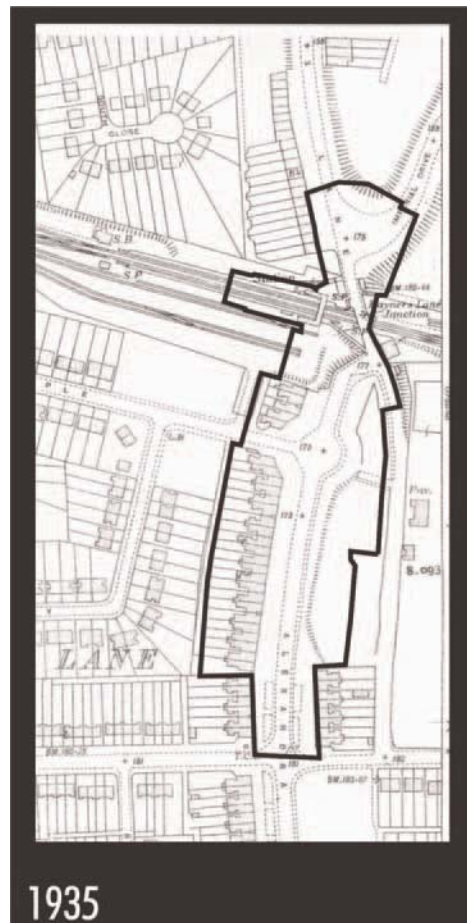
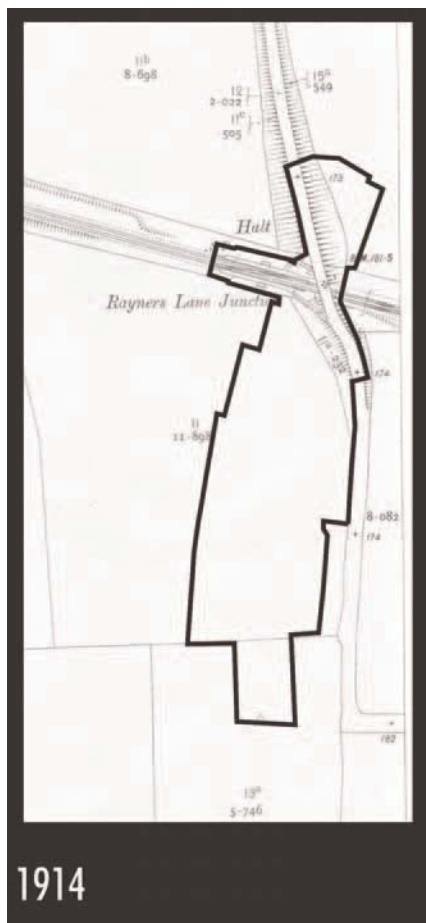
It is important to note that no appraisal can be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply that it is of no interest.

History and Development of Rayners Lane

The Rayners Lane conservation area forms the centrepiece of a much larger residential suburb with which its development is inextricably linked. Until the building of the Metropolitan Railway Station in 1906 this was a rural area with a single farmstead, Rayners Lane Farm, to the north of the station at the junction of Rayners Lane and Farm Avenue. Rayners Lane itself is an ancient roadway which may have medieval origins.

Despite the building of the station, the area initially remained completely undeveloped. However between 1929 and 1938 Rayners Lane

was transformed into a modern suburb complete with all the latest amenities. This development was principally at the instigation of two companies, Metropolitan Railway County Estates and T F Nash and Company. Metropolitan Railway County Estates, a subsidiary of the Metropolitan Railway Company established to develop the land alongside the railway lines, built the more prestigious Harrow Garden Suburb to the north of the railway line. T F Nash occupied most of the land to the south of the station and concentrated on the mass production of cheaper housing. Nash employed up to 1000





The station viewed from the south

468-472
Alexandra Avenue



workers on the project and a temporary narrow gauge railway was laid to speed construction. The results were startlingly cheap, with prices starting at £545 in 1930. Nash excelled in publicising and marketing the estate. In 1934 a temporary triumphal arch was erected at the north end of Alexandra Avenue as part of a major promotion. A garage providing courtesy cars to enable prospective buyers to view plots was also provided. This was a clever trick that disguised quite how far these houses were from the station.

The initial phases of construction concentrated on the building of the terraced and semi-detached houses that form the bulk of the suburb and the smaller parades of shops around Village Way and the lower part of Alexandra Avenue. The majority of these properties were completed by 1935. The buildings in the conservation area belong to a

later phase of construction, between 1935 and 1938; blocks of flats lining the southern part of Alexandra Avenue were also constructed at this time.

Character Analysis

Topography and Views

The Underground Station is at the highest point in the conservation area, atop the railway bridge, and this higher level reinforces its role as a pivotal building in the conservation area.

The key views are identified on the map of 'Today' and comprise views up and down Alexandra Avenue and to the landmark buildings within the area.

Activity and Uses

The conservation area's two principal uses are commercial (shops, restaurants etc) on the

ground floor and residential flats above, although the former Cinema is in community use. The character of the area is in large part derived from its role as a district shopping centre and the hustle and bustle associated with this and the station. It is key that these uses are retained. The residential flats above are also important in providing surveillance to the streets below.

Architectural Character

The most striking buildings in the conservation area are the London Underground Station, the former ACE cinema and the shops at 468-472 Alexandra Avenue. Each building has a very individual character and represents fine examples of the 'International' and 'Art Deco' strands of inter-war modernist architecture. Despite their differing styles all are related by their use of dramatic outlines constructed by the bold massing of simple shapes, and pierced

The Nash Archway constructed in 1934



Rayners Lane before development, looking north down the hill from the station





by large windows, a technique made possible by the use of modern materials such as concrete and steel framed windows. All also employ simple yet effective brickwork details to enliven window surrounds, and white render to present a bright and modern finish. This use of similar materials enables these buildings to complement each other by creating a visual unity that overrides the differences in individual building styles.

The former ACE Cinema, designed in 1936 by F E Bromige represents the best in Art Deco design with a bold triple bowed frontage with a very wide central projection within which rise full height concave and convex steel framed windows. A stylised elephant's trunk with a curved 'head' projecting above the bowed parapet rises upwards from the entrance canopy.

The Underground Station, built in 1938 to the designs of Charles Holden and Reginald Uren in the modernist 'International Style' is less exuberant but equally bold.

Walls are of muted grey brickwork and a flat roofed double height entrance lobby lit by vast steel framed windows set on the bridge spanning the tracks flanked by single storey kiosks with curved fronts. It is also distinguished by exceptionally well preserved signage and station furniture.

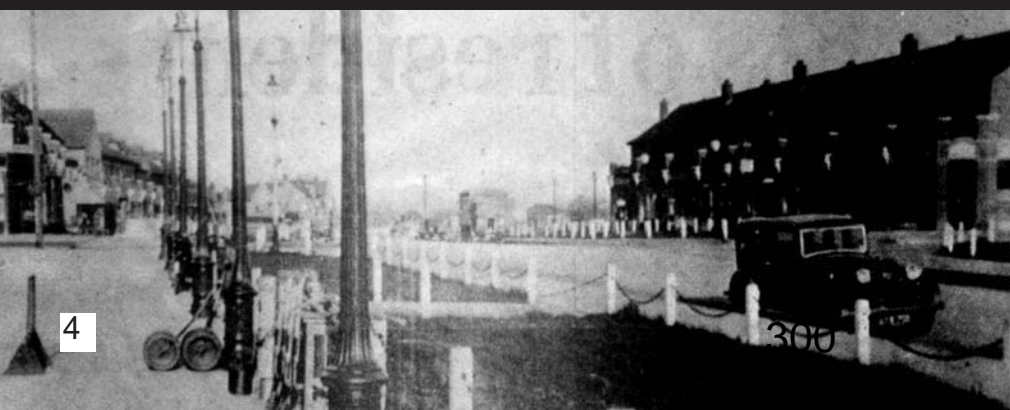
The same boldness is found on a smaller scale in 468-472 Alexandra Avenue, built by R C White-Cooper and S R Turner in 1937, also in the 'International Style'. Simple cylindrical and square masses covered in a bright white render are enlivened by continuous runs of windows that give the illusion that the top of the tower is floating in mid-air.

The surrounding buildings (numbers 454-462, 420-438, 455-463 and 411-453 Alexandra Avenue) are formed of four distinct blocks of shops with flats above. These are less dramatic but well designed and well detailed, resulting in fine buildings in themselves that enhance the setting of the listed buildings. All are the work of a

single architect, H J Mark and were built between 1934 and 1936. Mark was a prolific architect in the area and was also responsible for much of Eastcote town centre, which features almost identical buildings. Mark's style was distinctive, using brown brick with contrasting white render capped with steeply pitched brown tiled roofs. The buildings feature complex rooflines with gabled end wings and hipped dormers, prominent doorways leading to the upper floor flats, featuring semicircular arched openings capped with gabled roofs, and an iron balcony at first floor level above the shop with steel railings. Particular care was taken over the design details. Red brick dressings surround door and window openings, while pilasters surrounding doors and separating shops feature rusticated quoining and are capped with stone brackets or a decorative brick crocketed pinnacle. Decorative brick designs were also set into gables. The original windows were all of the steel Crittall type and doors are panelled with a single glass light. Originally this light and the adjacent windows featured leaded lights with a stained glass heart shaped design.

Numbers 454-462 Alexandra Avenue, an attractive three-storey block constructed in 1936, is of particular merit. This

Old steel street lamps that lined the road



The same location at the junction of Warden Avenue and Alexandra Avenue -then and now



The same junction from a slightly different angle



building is enlivened by an interesting façade consisting of a tiered frontage leading to a recessed central tower with arched openings. Shop fronts were originally a very important part of the design of the buildings. The shop fronts tended to be simple with a narrow painted fascia above the shop, large plate glass windows in timber frames and a canvas roller blind. The shops were usually divided by pilasters with stone brackets at the top. Some of the original shop fronts do survive although sadly the majority have now been replaced.

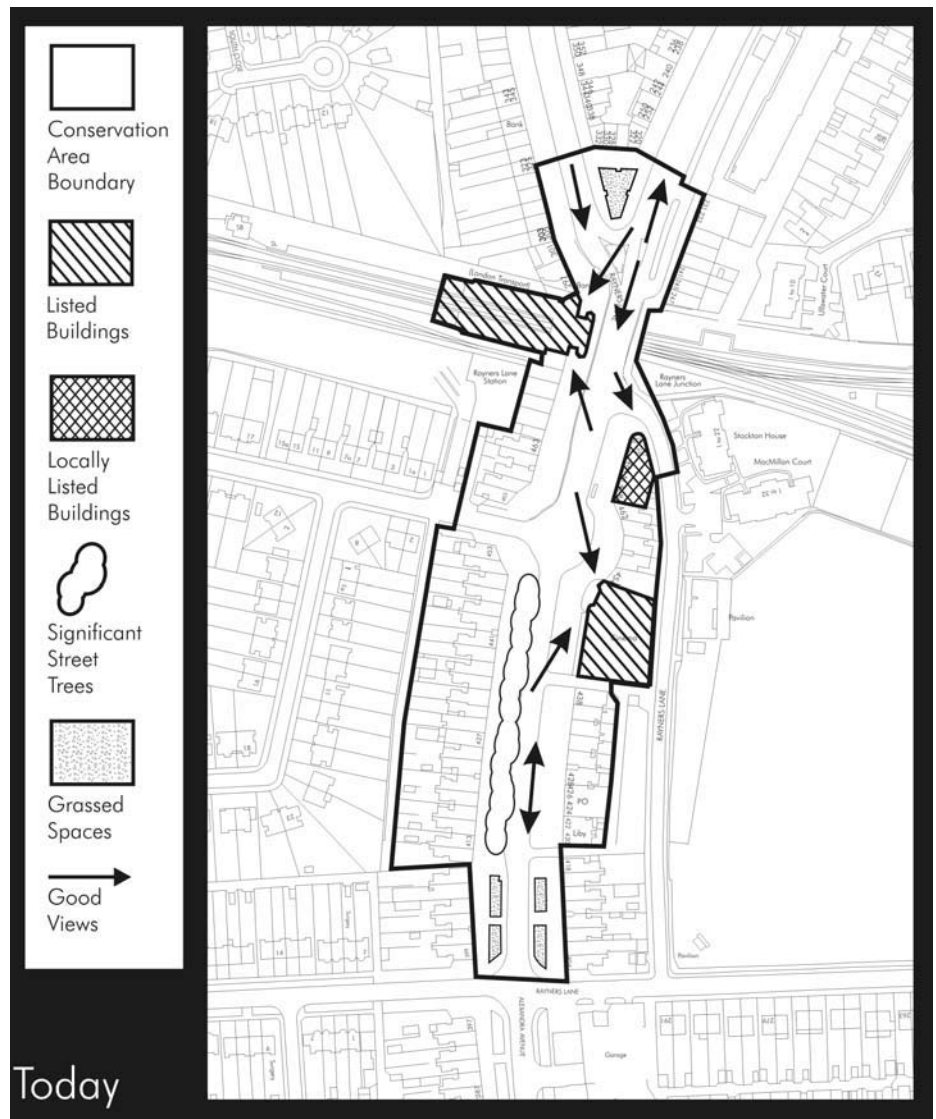
Streetscape Character

As originally planned, the streetscape in the centre of Rayners Lane gave the area a spacious and modern feel that complemented the surrounding buildings. Alexandra Avenue was conceived as an impressive boulevard lined with wide concrete pavements edged with granite kerbs and enhanced by ornamental trees planted along the western side. At the junctions of Alexandra Avenue with Warden Avenue and Village Way grass verges surrounded by concrete posts and post and chain fencing provided a welcome splash of greenery and an important streetscape feature. Street furniture was simple and included rather fine lampposts with a large circular globe sitting directly on top of the post. These were replaced in the 1960s by a

futuristic concrete design with a curved top and a circular suspended shade. Other notable features include the fine signage around the Underground Station and a set of railings on the east side of the bridge over the tube line.

Despite many changes, the original street layout survives, including the site of the verges, which have now been converted into raised beds, and the posts of the original post and chain fences. The use of zebra

crossings rather than pelican crossings, contributes positively to the character of the area by reducing the number of traffic lights. The retention of the Belisha Beacons is also to be encouraged. These items, which are now becoming rare in Harrow, were first introduced shortly after the area was developed and are characteristic of historic 'Metroland' streetscapes. More recent streetscape clutter is beginning to detract from the area's intended simplicity.



Today



Former Ace
Cinema Alexandra
Avenue



PROBLEMS AND

Problems, pressures, negative features

Location



Shop fronts

Throughout the Conservation Area



Inappropriate small scale alterations to residential flats

Throughout the Conservation Area



Poor repair of former cinema

440 Alexandria Avenue - Zoroastrian Centre



Patchy pavement surfaces

Throughout the Conservation Area



Too much street clutter

Throughout the Conservation Area



Black bollards

Eastern side of Alexandria Avenue

Pressure for more non-shop uses (takeaways /restaurants

Throughout the Conservation Area

Neutral Features



Post war buildings (1959)

465-475 Alexandria Avenue



Spoilt facades



Good railings by
tube line

ND PRESSURES

Description

With the exception of number 472 Alexandra Avenue, all the original shop fronts in the conservation area have been replaced with modern examples. Many of these are of an unsympathetic design with large fascias, overly large signage - much of which is illuminated - that does not respect the scale or detailing of the building that it forms part of. Some buildings have had their shop fronts completely rebuilt, enlarged and clad in tiles, much to the detriment of the structure behind. Numbers 453 and 424-426 Alexandra Avenue have suffered particularly badly in this respect.

In recent years many of the original doors and windows have been replaced in uPVC, much to the detriment of the buildings. Clay tile roofs have also been replaced with concrete tiles which lack the interest, colour, texture and profile of the original clay tiles.

This building is on English Heritage's Buildings at Risk list. Although it has a new use and works are underway, the building is still in need of substantial repair.

The fitting of different coloured concrete pavers, asphalt patching and the introduction of the green cycle lane, has broken up the uniformity of pavements.

Guard rails, unnecessary road signage, numerous telephone kiosks and standard steel lampposts create a cluttered and chaotic appearance at odds with the original intended simplicity of the street and the form of the buildings

Black bollards detract from the wide sweeping lines of the pavement

The vibrancy of the conservation area relies on keeping a proportion of shop uses although there is always pressure for these uses to change.

These structures are unremarkable architecturally and currently have a neutral impact on the character of the area. However, their prominent position in terms of townscape, situated close to the listed buildings in the conservation area, means that alterations and development on this site must be sensitively handled.

RAYNERS LANE

Consultation

The first draft of this document was sent to each owner and occupier in the conservation area, along with local and national amenity societies. At the time of its release, press announcements were made in the local papers as well as the London Gazette. It was available on the Council's website for a number of months and an exhibition was held in Rayners Lane Library. The document was revised to meet new English Heritage guidelines in 2005 and subsequently a further round of public consultation, in line with the first, was undertaken.

Please call the number below for a large print version of this document, or a summary of this document in your language.

Albanian	Nëqoftëse gjuha Angleze nuk është gjuha juaj e parë, dhe keni nevojë për përkthimin e informatave të përmbajtura në këtë dokumentë, ju lutemi kontaktoni numërin dhënë.
Arabic	إذا كانت الانجليزية ليست لغتك الأولى وتحتاج لترجمة معلومات هذه الوثيقة، الرجاء الاتصال على رقم
Bengali	যদি ইংরেজি আপনার মাতৃভাষা না হয় এবং আপনি যদি এই প্রচারপত্রের তথ্যগুলোর অনুবাদ পেতে চান তাহলে যে টেলিফোন নম্বর দেওয়া আছে সেখানে দয়া করে যোগাযোগ করুন।
Chinese	如果你主要說用的語言不是英語而需要將這份文件的內容翻譯成中文，請打註明的電話號碼提出這個要求。
Farsi	اگر انگلیسی زبان اول شما نیست و شما نیاز به ترجمه اطلاعات موجود در این مدرک را دارید، لطفاً با شماره داده شده تماس بگیرید.
Gujarati	જો ઈંગ્લિશ તમારી પ્રથમ ભાષા ન હોય અને આ દસ્તાવેજમાં રહેલ માહિતીનો તરજૂમો (ટ્રાન્સલેશન) તમને જોઈતો હોય તો કૃપા કરી જણાવેલ નંબર ઉપર ફોન કરો
Hindi	यदि आपको अंग्रेजी समझ नहीं आती और आपको इस दस्तावेज़ में दी गई जानकारी का अनुवाद हिन्दी में चाहिए तो कृपया दिए गए नंबर पर फोन करें।
Panjabi	ਜੇ ਤੁਹਾਨੂੰ ਅੰਗਰੇਜ਼ੀ ਸਮਝ ਨਹੀਂ ਆਉਂਦੀ ਤੇ ਤੁਹਾਨੂੰ ਇਸ ਦਸਤਾਵੇਜ਼ ਵਿਚ ਦਿੱਤੀ ਗਈ ਜਾਣਕਾਰੀ ਦਾ ਤਰਜਮਾ ਪੰਜਾਬੀ ਵਿਚ ਚਾਹੀਦਾ ਹੈ ਤਾਂ ਕਿਰਪਾ ਕਰਕੇ ਦਿੱਤੇ ਗਏ ਨੰਬਰ ਤੇ ਫੋਨ ਕਰੋ।
Somali	Haddii Ingiriisku uusan ahayn afkaaga koowaad aadna u baahan tahay turjumidda xog ku jirta dokumentigan fadlan la xiriir lambarka lagu siiyey.
Tamil	ஆங்கிலம் உங்கள் தாய்மொழியாக இல்லாதிருந்து இப்பத்திரத்திலிருக்கும் தகவலின் மொழிபெயர்ப்பு உங்களுக்கு தேவைப்பட்டால் தயவுசெய்து தரப்பட்ட தொலைபேசி எண்ணில் தொடர்பு கொள்ளவும்.
Urdu	اگر انگریزی آپ کی مادری زبان نہیں ہے اور آپ کو اس دستاویز میں دی گئی معلومات کا اردو ترجمہ درکار ہے، تو براہ کرم دیئے گئے نمبر پر رابطہ کریں۔

020 8736 6180



Other Publications

The Council produce the following supplementary Guidance leaflets that are relevant to the Rayners Lane Conservation Area

Conservation Areas: Residential Planning Guidelines
Listed Buildings: Planning Guidelines
London Borough of Harrow Conservation Areas
Shopfront Design Guide

Further information regarding the Statutory Background and general Council policies relating to conservation areas can be found in the Harrow Unitary Development Plan

Produced by:

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or www.harrow.gov.uk

RAYNERS LANE

Draft

Management Study

AREA 28





Stagger bond paving outside cinema



Traditional sized fascia & canopy blind

Purpose of the Strategy

The preceding Conservation Area Appraisal provides an analysis of the character and appearance of the conservation area to identify what makes it special. It also sets out problems and pressures that are affecting the area. This Management Strategy develops these issues looking at how best to protect the special character, through specific policies and controls. It also sets out opportunities for change, improvement or enhancement.

Each section of the strategy is linked to the relevant policy guidance, which provides the framework for the future management and enhancement of the conservation area.

The following proposal statement provides a list of actions, related to those features identified as 'negative'.

Enhancement Opportunities

This section sets out opportunities to enhance the area, through resolving acknowledged problems, as identified in the appraisal.

Identified Negative Feature?	Site Address	Proposed Actions?
Standard steel street lamps	Intermittent locations throughout conservation area	Their gradual replacement with more sympathetic designs would be welcomed. It is considered that contemporary sleek designs, rather than "heritage" versions would be the most appropriate. Use any planning gain money to help improve the area.
Green cycleway	Western side of Alexandra Avenue	Question the need for a cycleway on the pavement, particularly in such a high footfall area. If required, the cycle way should have the same surface (ie large concrete slabs) but be defined by a wide white line to reduce its visual impact.
Patchy pavements	Junction with Uxbridge Road	Originally the area would have been large concrete slabs laid in stagger bond. This style is gradually being reintroduced in suburban centres because it is easier to mechanically clean, so it is envisaged that in time the entire area should revert back to the original form.
Street clutter	Throughout the area	Conservation Team to undertake street audit in liaison with Highways Dept to identify ways of reducing street furniture.
Former cinema	440 Alexandra Avenue	Work with owners to ensure repairs are completed and to seek removal of the building from the English Heritage Buildings at Risk list.



Simple traditional shopfront with narrow fascia



More subtle cycleway

Protective Measures

A number of measures and policies are set out below to safeguard the special character of the area.

Requirements for planning permission

The study has identified that minor alterations to flats and replacement shopfronts have started to damage the character of the area. Generally many minor building works such as alterations and small extensions do not require planning permission as they are classed as Permitted Development under the Town and Country Planning (General Permitted Development) Order 1995. However, as the buildings in the

conservation area are flats and retail premises they are not covered by the Order and so have no Permitted Development rights beyond those relating to the installation of satellite dishes. Instead, what determines the need for such buildings to gain planning permission for development is whether the development results in a "material alteration" to the external appearance of the building (s.55) (this would be the same situation whether the buildings were in a conservation area or not).

The Local Planning Authority can already control works in Rayners Lane that are considered to constitute material alterations. However, the designation of a conservation area and the analysis of its special qualities

gives an opportunity formally to define what is considered a material alteration to be treated as development in the context of this conservation area, and what, therefore, will be subject to control. The material alterations which will require planning permission include:

- The alteration of windows and doors
- The alteration of shop fronts
- Re-covering a roof in a different material
- Extensions of or alterations to the roof of a building
- Cladding the exterior

Pressure for non shop uses

The Harrow Unitary Development Plan, Policy EM16, states that non retail uses should not exceed 25% in the street frontage. This policy is applied in all primary frontage areas, irrespective of their conservation area status, but it is important to note that the conservation area appraisal has identified that the retail uses in the area are very much part of its special character.

Relevant Policies

A number of detailed policies are considered to apply in this conservation area. These policies flow from the Unitary Development Plan and the emerging Harrow Conservation Areas Supplementary Planning Document.

The Belisha Beacons should be retained where possible



RAYNERS LANE

The following policies are considered to apply in this Conservation Area:

Policy 1:

The Council will seek to ensure that all new development respects the character and layout of the area.

Policy 2:

There will be a presumption against the demolition of buildings within the Conservation Area.

Policy 3:

The retention of original design features, such as balconies, brickwork details, windows and doors are encouraged. Where necessary the council will require the use of replica features in traditional materials for replacement and new works. Aluminium and UPVC replacement units will not normally be considered acceptable.

Policy 4

The Council will encourage the improvement of properties by the reinstatement of original design features ie. windows and doors.

Policy 5:

The re-roofing of properties in inappropriate materials will be resisted.

Policy 6:

Alterations to buildings that result in a detrimental effect on the appearance of elevations that face thoroughfares, including alterations to chimneys and rooflines, will be resisted.

Policy 7:

The Council will resist the installation of inappropriate shop front designs, in particular the introduction of large fascias and illuminated signage boards, and will encourage the reinstatement of traditional shop fronts.

Policy 8:

The retention of street trees, the reinstatement of trees where it can be shown that a specimen has been removed and the improvement of grassed public spaces will be encouraged.

Policy 9:

The preservation and enhancement of the streetscape will be encouraged, particularly the retention and reintroduction of traditional street furniture such as post and chain fences. Street furniture of an innovative modern design sympathetic to the conservation area will also be encouraged.

Policy 10:

The Council will encourage statutory undertakers to remove excessive and obtrusive signage, bollards and railings and to improve the design of essential features.

Policy 11:

The use of appropriate paving with the aim of creating a uniform and uncluttered streetscape will be encouraged.



Other Publications

The Council produce the following supplementary Guidance leaflets that are relevant to the Rayners Lane Conservation Area

- Conservation Areas: Residential Planning Guidelines
- Listed Buildings: Planning Guidelines
- London Borough of Harrow Conservation Areas
- Shopfront Design Guide

Further information regarding the Statutory Background and general Council policies relating to conservation areas can be found in the Harrow Unitary Development Plan

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Meeting: Strategic Planning Advisory Panel
Date: 14 March 2006
Subject: Conservation Area Appraisal and Management Strategy for Harrow School conservation area
Responsible Officer: Executive Director (Urban Living)
Contact Officer: Lucy Haile/Tom Wooldridge
Portfolio Holder: Planning, Development and Housing
Key Decision: No
Status: Part I
Appendices:
1 Harrow School Conservation Area Appraisal and Management Strategy

Section 1: Summary

Decision Required

The Panel is invited to

- (1) Consider the revised draft of the Harrow School Conservation Area Appraisal and Management Strategy and subject thereto,
- (2) Recommend the said revised draft to the Portfolio Holder for formal adoption

Reason for report

The Planning (Listed Buildings and Conservation Areas) Act 1990 advises Local Planning Authorities to review their conservation areas and publish proposals for their preservation and enhancement and the appraisals and strategies within this report seek to fulfill that objective. In addition, Members agreed a programme of completing conservation area appraisals and management strategies and this report seeks to meet that programme as well as seeking to improve the Council's performance against the new Best value Performance Indicator (BVPI219) which assesses the number of conservation areas with up to date appraisals.

Benefits

The Council will be working towards its statutory requirements and towards improving its performance against BVPI 219 on conservation areas.

Cost of Proposals

Costs to be contained within the existing Planning and Development Services budget.

Risks

Not having specific proposals for individual conservation areas reduces opportunities for seeking external grant funding for projects and increases the likelihood of losing planning appeals

Implications if recommendations rejected

Delays to the programme leaving conservation areas without any guidance for longer and impacting on BVPI 219.

Section 2: Report

2.1 Brief History

- 2.1.1 On 18th March, 2004 the Unitary Development Panel resolved to recommend to Cabinet the contents of the draft Harrow School Conservation Area Character Study be approved for the purposes of public consultation. The Planning, Development, Housing and Best Value Portfolio Holder agreed with this recommendation on 7th April, 2004. Government guidance in PPG15 (Planning and the Historic Environment) asks for wide consultation when formulating proposals for the preservation and enhancement of conservation areas, and English Heritage's recently published, "*Guidance on Conservation Area Appraisals*" encourages public consultation and involvement to ensure that the resulting documents have more weight within the planning framework. This report seeks to agree the final version of the study to be adopted by the Council.
- 2.1.2 Copies of the Draft Study were sent to all 14 members of the Conservation Areas Advisory Committee, Harrow School staff, Harrow Hill Trust, the Forum, Harrow Heritage Trust, Stanmore and Harrow Historical Society, Don Walker – a local historian, English Heritage and Ward Councillors. It was also sent to the only resident of a private dwelling house in the Conservation Area, the Vicar of St. Mary's. The draft study was also published on the Council's webpage.
- 2.1.3 There were three letters, two emails and 1 fax in response. Two replies enclosed a copy of the Draft with minor errors highlighted.
- 2.1.4 The Harrow School Archivist highlighted a number of factual errors. These have been corrected in the second draft. She recommended the use of a well researched and referenced local history book to check further dates and facts.

Also, she emphasised the importance of the school being established as a free school to the development of the School and Town. The historical development section has been altered in line with both points.

- 2.1.5 English Heritage asked that unlisted buildings that make a positive contribution to the area and neutral and negative elements be highlighted. This has been addressed in the revised document, and is particularly highlighted through a map entitled 'Map of Landmark, Neutral and Negative Buildings'. They also asked for greater clarity in photograph captions and that there should be a greater consistency about which photographs show historic views and the date of these views. This has been addressed in the revised document since all photographs are current and the location or subject of the photograph is clearly labelled. The use of current photographs also addresses the Harrow School Estates Bursar's comment that perhaps more photographs of how things appear today, rather than historically, may be more helpful.
- 2.1.6 The Stanmore and Harrow Historical Society welcomed the principle of the appraisal that is to conserve the area as it is as far as possible. They also highlighted some minor typological and factual errors which have been corrected in the second draft.
- 2.1.7 The Head Master of Harrow School wrote in with a number of comments. Firstly, he pointed out that the policies and proposals section did not address important problems, namely: traffic, badly surfaced pavements outside Speech Room, guard rails, poorly placed and maintained Local Authority signs which are a visual nuisance, and the Grove Hill street lights. These have now been addressed in the Management Strategy. He suggested grants for Harrow School in order to maintain the area. In order to progress this particular concern, a proposal has been put forward to work with Harrow Heritage Trust and the School to provide grant aid assistance for repair works. He also stated that the need for Harrow School to expand should be recognised and that the Local Authority should work with the School in order to limit any negative impact on the Conservation Area. The revised draft incorporates this by proposing to work with all potential developers to identify suitable sites for new buildings to alleviate pressure on sites in the central conservation area. The Head Master states he can see little value in an audit of street elements as the draft suggested. So, the revised document includes justification for this. Before any work is agreed he suggests an on-site inspection by Conservation. This proposal has been added. Finally the Head Master highlighted a few typological and factual errors, which have been corrected.
- 2.1.8 A local resident stated the most significant point in the appraisal was that 'Harrow on the Hill has not been surveyed since the mid-1980s and some buildings may not be sufficiently recognised', which relates to whether more buildings should be added to the statutory list. The document has been revised to reflect this since the Management Strategy states the Council will encourage the Department of Culture, Media and Sport to resurvey the Harrow on the Hill Area and will consider the introduction of photo surveys every four years as a means of monitoring change. Also he states that both the Hill and the School are inextricably linked. Thus the Management strategy proposes to consider application of relevant proposals to the wider Hill area.

- 2.1.9 With the advent of new guidance on the preparation of conservation area appraisals from English Heritage in 2005, mentioned above, the study has been further revised. This has meant that although the substance has not been changed significantly, a planning policy context has been added, the historical development altered to increase focus on how the current townscape has developed and a greater emphasis placed on graphic presentation by increasing the number of maps, tables and current photographs of the area. It has been split into two sections: the conservation area appraisal and the management strategy. A greater emphasis on resolving problems and enhancement, including monitoring proposals, is included in the management strategy.
- 2.1.10 All 14 members of the Conservation Areas Advisory Committee were informed of the revised draft, as well as Harrow School staff, Harrow Hill Trust, the Forum, Harrow Heritage Trust, Stanmore and Harrow Historical Society, Don Walker, English Heritage, Ward Councillors and the Vicar of St. Mary's. A copy of the revised draft was sent out to the previous respondents. The revised draft was made available on the Council's website, and the Planning Services Reception at Garden House. To date no comments have been received. A public meeting is due to be held on the 2nd March, 2006 at St. Mary's Church Hall. Any comments from all public consultation and the public meeting will lead to a revision of the documents, if necessary, and will be reported in an addendum to the Committee.
- 2.1.11 A copy of the final version, to be agreed for adoption by the Council, is attached as **Appendix 1**.

2.2. Options Considered

- 2.2.1 This approach to adopting the appraisals and management strategies followed extensive consideration of the options for producing such documents, and their eventual status. Following the consideration of options at the SPAP meeting on 1st December 2005, Cabinet resolved on 15th March 2005 that non-SPD appraisals which would be linked to an overarching conservation area SPD would be the best approach. The production of the "Harrow Conservation Areas SPD" is dealt with as a separate item on the agenda. These appraisals follow that agreed structure and have been re-written to link them to the emerging overarching SPD, as well as the existing policy framework.

2.3 Consultation

- 2.3.1 This report sets out the detailed consultation undertaken on the conservation area appraisal and management strategy.

2.4 Financial Implications

- 2.4.1 The costs associated with the study mainly relate to its initial drafting, which has already been undertaken within existing resources. There are cost implications for the printing of the final study, but making significant use of the Council's website should reduce the need to produce significant numbers of these documents. In addition, the Council already charges a small fee for printed copies, which helps to recoup the costs of the initial printing. These amounts are

therefore likely to be minimal and can be contained within the existing Planning and Development Services budget.

2.5 Legal Implications

The Harrow School Conservation Area Appraisal and Management Strategy, when adopted, will be a material consideration in the determination of development applications within its area.

2.6 Equalities Impact

None

2.7 Section 17 Crime and Disorder Act 1998 Considerations

None

Section 3: Supporting Information/ Background Documents

English Heritage "Guidance on Conservation Area Appraisals".

Report and Minutes of the Unitary Development Plan Advisory Panel 18th March, 2004

Decision of the Planning, Development, Housing and Best Value Portfolio Holder on 7th April, 2004

Letters in response to the consultation

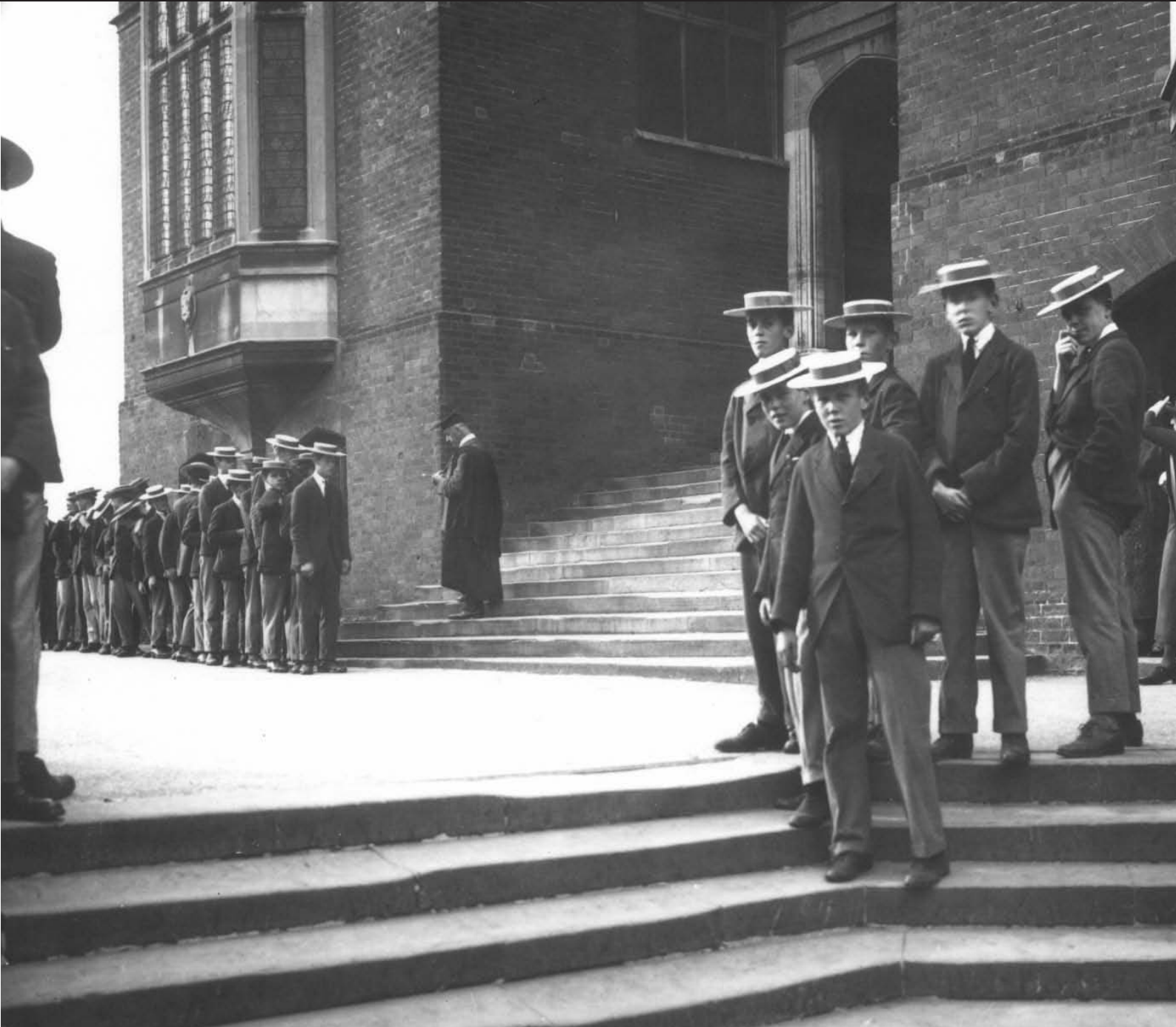
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HARROW SCHOOL

Draft

CONSERVATION AREA APPRAISAL

Area Number 7



The Harrow School conservation area is set within Harrow-on-the-Hill to the south-west of the borough. It contains buildings that are some of the most well known in, and emblematic of, Harrow. St Mary's Church, for example, sits atop the hill, and is visible from all over the Borough. Just below it, the rooftops of Old Schools and Harrow School Chapel are also visible. Indeed, large, dramatic school buildings almost exclusively fill the conservation area and are crucial to its character. The topography and quality of the buildings combine to make this area particularly striking. Insulation by surrounding open-land creates a unique feeling of separateness from the rest of urban London and especially uninterrupted views across Harrow and towards the centre of London.

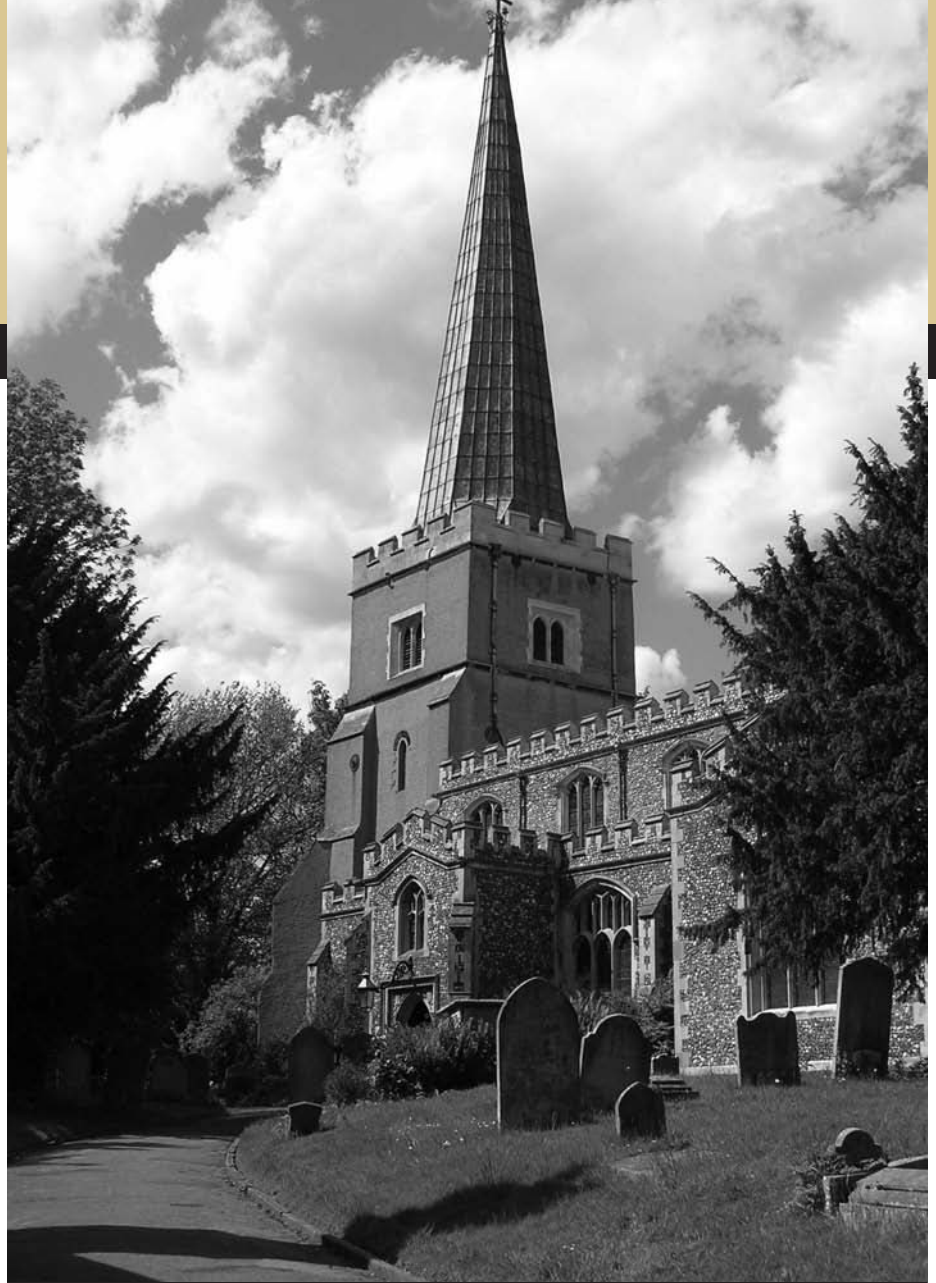
Designation of Conservation Area Status

The Harrow School conservation area is one of 8 conservation areas on the Hill and was first designated in 1968. It lies at the northern end of the High Street and includes Church Hill, Peterborough Road, Football Lane and Grove Hill.

Nature of this Appraisal

This Conservation Area Appraisal aims to set out what the special character and appearance of the area is and how that can be preserved or enhanced. C.A.A.s offer an opportunity to reassess the designated area and to evaluate and record its special interest. The appraisal will provide the basis for making sustainable decisions about the future of the area through the development of management proposals, which are set out in the linked document called 'A Management Strategy for Harrow School Conservation Area'. Policies to safeguard the character are set out in the management strategy.

It is important to note however, that no appraisal can ever be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply it is of no interest.



St Mary's Church, Church Hill

Planning policy context

This appraisal is set within broader Conservation Area Policy guidance contained in local policy for Harrow in the HUDP and LDF, the forthcoming Conservation Area SPD, and within national policy provided by PPG15 and the 1990 Town and Country Planning Act.

Historical Development

Medieval Harrow School Conservation Area - Archaeology

To understand the area's character today, it is important

to consider its history. The name of its wider setting in Harrow-on-the-Hill is first given in 767 when Offa, King of Mercia, exchanged his lands in Harrow for land in Sussex. Little is known of the Hill's early history although it is probable that it was an area of pagan worship.

St. Mary's Church was formally founded in 1087 by Archbishop Lanfranc. It is thought to date back prior to this since a priest is mentioned in the Domesday Survey. The establishment of the Harrow-on-the-Hill settlement can be linked to this since a small village would have become established around the

Church. From 1261 a weekly market started here, showing that the village was becoming more of a commercial centre. Gradually a more developed High Street emerged. The Lords of the Manor probably lived at a manor house on the site of The Grove. Archaeologists believe evidence of earth banks within the grounds may be the remains of fish ponds, used for carp. These were common around medieval manor houses. In addition, the remains of a well has also been found in the grounds of the house, which is thought to have been lined with Purbeck stone. This considered to be reflective of the high status of its occupants. Archaeological investigations in Church Fields have shown that remaining terracing here formed medieval, or possibly earlier, plough runs. These would have been created to make it easier for a team of oxen to plough.

St Mary's Church is highlighted on the current map of Harrow School Conservation Area (see right).

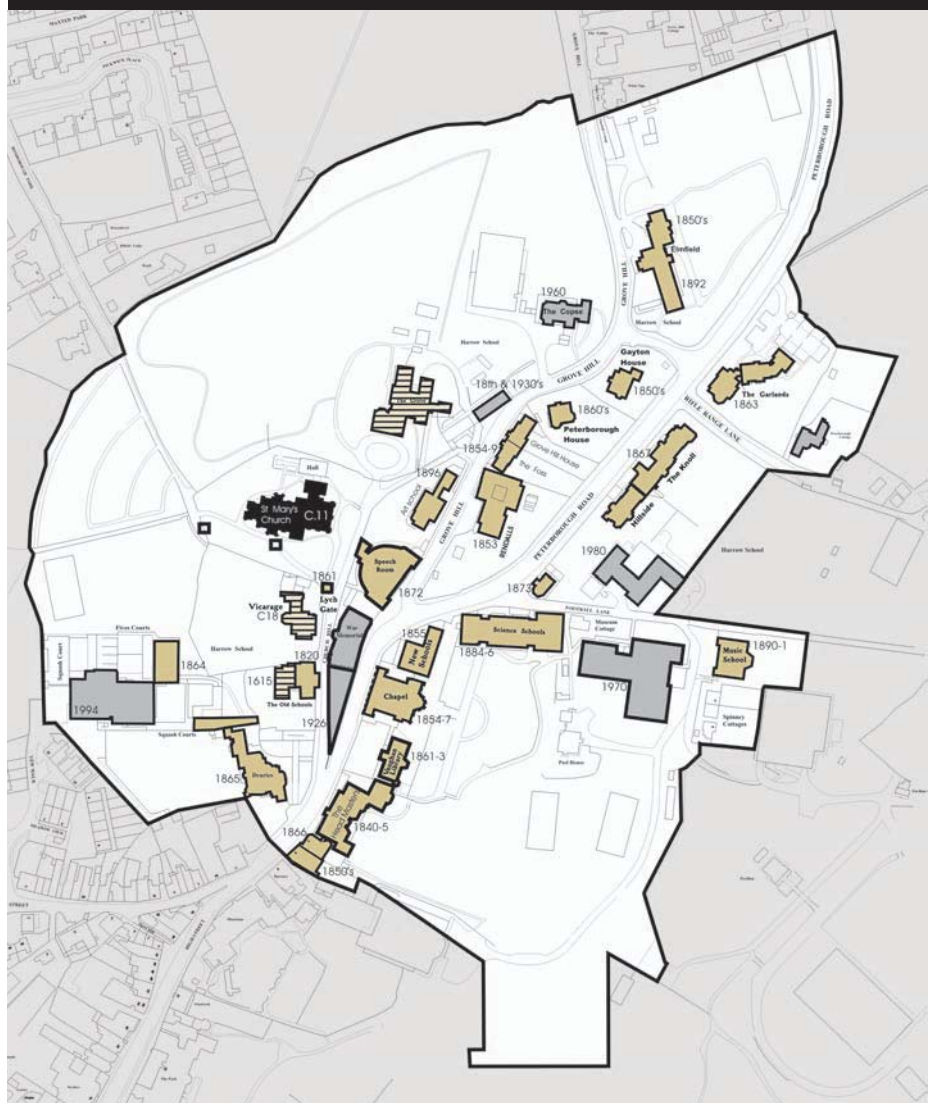
16th Century to 18th Century

The foundation of John Lyon's Free School was an important stage in the development of both Harrow School and the town. It was the work of the keepers and Governors of Lyon's bequests after the death of his widow in 1608. The School first achieved physical form in



The Grove, Church Hill

Historical Development of Harrow School Conservation Area





The Old Schools, Church Hill



Harrow School Outfitters, High Street

September, 1615 through the building of Old Schools. This came 25 years after his death and followed John Lyon himself obtaining a Charter from Elizabeth I in 1572 to found a free school for local boys in the Parish of Harrow on the Hill. In doing so he was re-endowing an existing school.

The building of Old Schools affected the layout of the roads since, previously, the High Street had gone straight up Church Hill to the churchyard and then descended via a lane known as The Fosse. After the School's establishment, the High Street was extended with a road then called Lower Church Street, on the route the High Street now follows.

The possibility of a good free education for their sons

encouraged many to move to Harrow-on-the-Hill in the 18th century, hence the growth of houses. By the mid-18th century, the High Street consisted of a continuous frontage of buildings between the churchyard and the junction with West Street, just outside the Conservation Area.

Importantly Lyon included a clause in his 'Rules to be Observed For The Ordering of the Said School' (1591). This stated that the Schoolmaster may receive pupils from outside the Parish that may be charged a stipend. This led to a need for boarding facilities. Initially they stayed with Dames (single or widowed women supplementing their income by renting out rooms). This continued until at least the mid-nineteenth century.

19th Century

Masters who came to the school to teach usually bought or built their own property. Gradually Masters supplemented their income by buying and often building large houses and letting them out to boarders. These include the Foss and Grove Hill House (see photograph on page 8). The boarding houses continued to be built since gradually local boys were replaced by fee-paying ones. This occurred since the still entirely classical curriculum did not meet the educational needs of the sons of local farmers who required a more practical education.

Under Dr Joseph Drury the School's numbers reached 345 and included 4 future prime ministers. The school staged a protest upon Dr. Drury's retirement in 1805 and his successor, George Butler's, election. Due to schoolboy insularity there were certain objections that it was not Mark Drury. The walls of Old Schools were only preserved from the plan to demolish them in protest when Byron appealed to protect them since the names of so many former pupils were carved on the panelling.

In 1819-21 CR Cockerell added a balancing wing to Old Schools and created the twin crow-stepped gables that give it such an exciting skyline. In



The Headmasters House, High Street

1819 or 1820 Reverend Batten bought and named the Grove building which dates back to the mid 18th Century. This was opened as another boarding house, but it caught fire in 1833 and had to be substantially rebuilt the same year incorporating parts of the basement and the frontage.

In 1838 the original mid 17th century Head Master's house burnt down. In 1838-9 Cockerell was employed again to build a new school chapel to accommodate the additional boys. The replacement Headmaster's house, which was constructed in 1840 and was designed by Decimus Burton, is still in use today.

The period 1859-1884, covering the headmastership of Dr Butler, has been described as a Harrow Renaissance. There

Peterborough House, Grove Hill



Elmfield Cottage, Grove Hill

was a huge burst of building and Harrow established itself as the leading rival to Eton. Key school buildings such as the Chapel, Speech Room and many of the boarding houses were built in Butler's time. The growth of the school led to additional developments within the whole town. New cottages for Harrow School employees such as Elmfield Cottages were built.

The School was the main draw to Harrow, but also the Hill's elevated position was widely believed to be linked to health and wellbeing and would have attracted residents. The number of municipal buildings on the Hill increased including a post office, council offices and cottage hospital; these adopted similar styles to school buildings and sometimes designed by the same architects. From 1855 there was gas lighting in the streets and from 1881 the streets were fully paved.

20th Century to Present Day

In the early 20th century the High Street flourished. This meant shops extended from the top of West Street, just outside the Conservation Area, to the yard outside Old Schools. In 1922 the shops between Druries and top of West Street were demolished, Harrow Stores, now Harrow School Outfitters, was established and the lawn outside Druries created.

In 1926 the War Memorial was opened to commemorate the 2917 Harrovians who served in the First World War, 690 of whom were injured and 644 were killed. The Speech Room, adjacent to this, was the only major School building to be hit by a bomb in the Second World War in 1940.

More recently, the success of the School has meant continued expansion. The Copse (a teaching block) was built in 1960 and Peterborough House

and Cottages (Masters' accommodation) were constructed in 1980, the Maths and Physics Schools and Dining Room were built in the 1970s and the New Knoll (a boarding house), replaced the Old Knoll in Peterborough Road in 1981. The Old Knoll became masters' accommodation. A central feeding block was opened in the 1977 and is called the Shepherd Churchill Dining Hall. This replaced the practice of boys being fed in their individual

houses. In 1994 the Ryan Theatre was built.

Topography, landscape setting and views

The topography is the area's most striking feature, giving rise to dramatic views of the buildings (often seen staggered one above the other), views up and down the hill and panoramic views out. The topography and road layout together create a real sense of



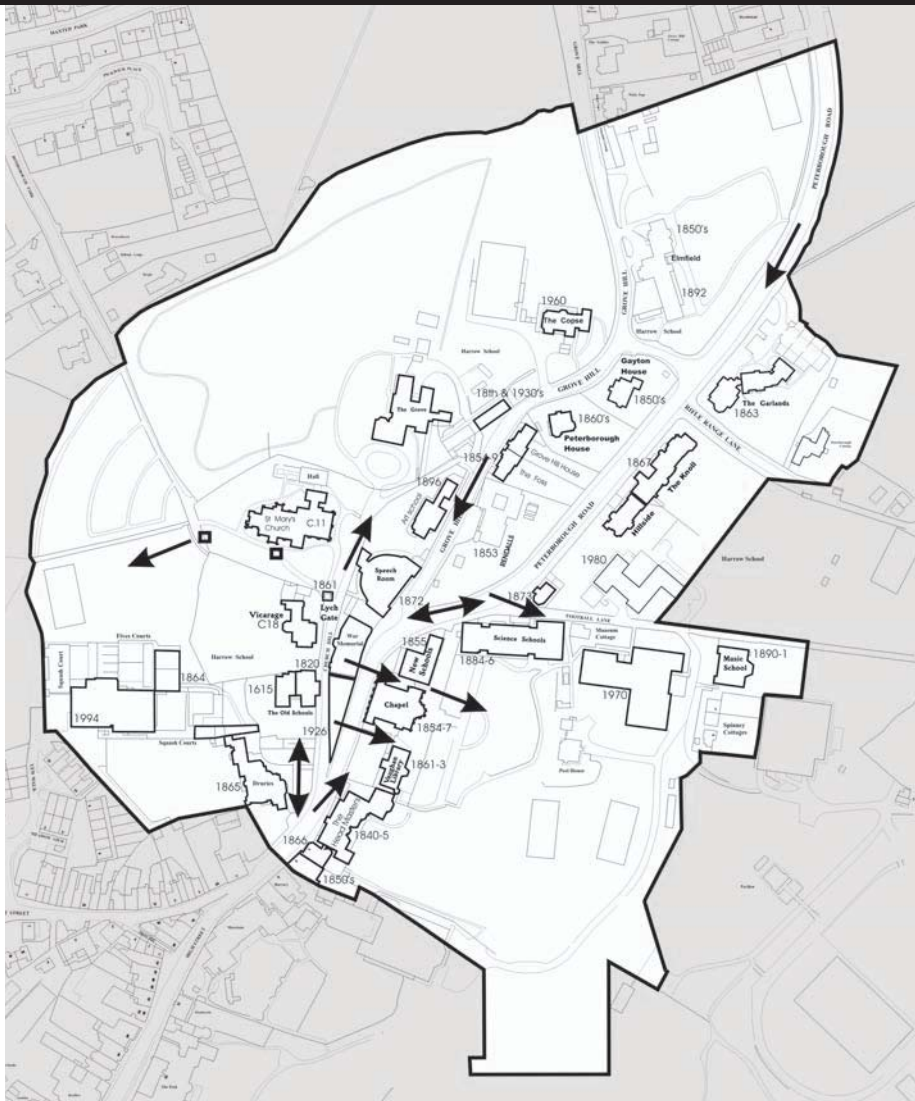
View from the top of Football Lane

place. Generally, in common with the rest of the Hill, the less important and smaller buildings are located on the lower slopes and as one ascends, the buildings become both larger and more impressive.

Views are afforded of St Mary's, at the summit of the Hill, but also of other focal points such as the tower of Speech Room, viewed on the ascent up Grove Hill. Glimpses out, to the surrounding landscape, can be caught between buildings, such as around the School's Chapel, and between which all add interest to the streetscene.

There is also the Byron Viewpoint, a formal viewing platform, where panoramic views to the west can be seen. Within the School's private areas, there are striking views, particularly those out to the east from the terrace to the rear of the Chapel. The view up Church Hill, with the historic buildings framing the scene is particularly

Key views within the Harrow School Conservation area



striking. The view from the top of Football Lane towards the centre of London is also impressive. The open fields that surround the Hill are important in preserving the views and character of the Conservation Area. From the Hill it creates unobscured views across Harrow and towards the centre of London. Key views within the Conservation Area are highlighted on the map on the facing page.

coherence despite comprising individual monolithic pieces.



View between Harrow School Chapel & Vaughan Library towards Central London

2) Transitional - Some substantial spaces around buildings here allow glimpsed views thereby detracting from the urban feel. These open spaces tend to be formal gardens, or paved squares and so, conversely, also

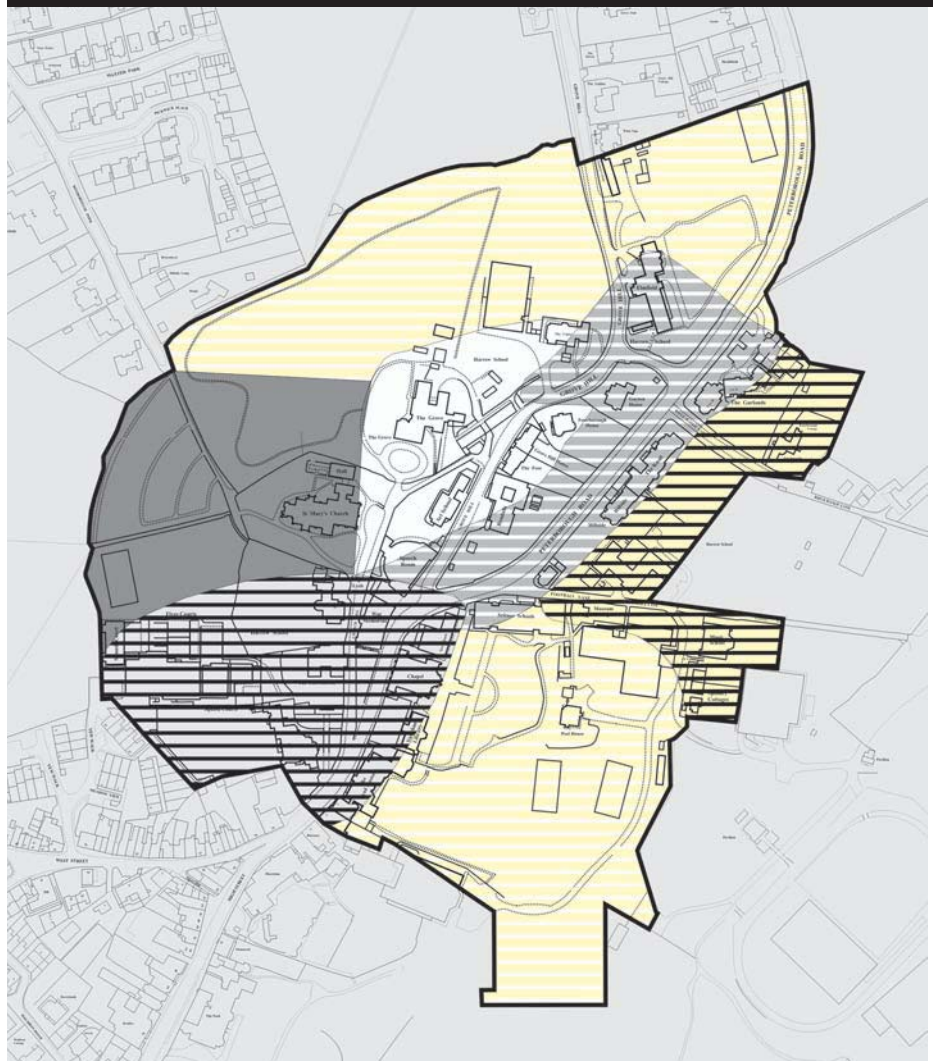
contribute to the urban character. The steps outside War Memorial provide a large area of open space forming a useful transition space between the different levels of the High Street and Church Hill, and are also

Townscape Character

The townscape character is varied, even within this relatively small area. The different zones are labelled in the map below and are described following this. It is important to note that the boundaries are not definitive.

1) Central core - Here the character is urban. Many buildings directly front the pavement. Buildings are densely packed, large and of several storeys creating an enclosed, dramatic character. Most buildings belong to Harrow School and this gives this conservation area its unique character. They were built to set the tone of the School by providing a sense of drama and formality to the streetscape. Since many buildings were built over a short space of time, with repeat commissions of a limited number of architects, the area has architectural

Zones of Townscape Character





The Foss & Grove Hill House



Peterborough Rd, the Lower Slopes of the Hill

urban and formal in their style. The garden outside the Vaughan Library is set within the confines of the buildings around it and is symmetrical, but the slightly wild forms of the magnolias contrast this formality.

Elsewhere, planting softens the streetscene. In particular, the thick ivy growing up Speech Room wall does this as does the yew hedge outside the Chapel. In front of the library formal gardens contrast the built form fronting the street (see photograph below).

3) Lower slopes of the hill -

Here the character changes. After passing through the

pinchpoint of buildings between Speech Room and New Schools, Peterborough Road curves and broadens out. The buildings are still large and impressive, but are set further apart, within gardens and set back from the roads. Boarding houses predominate on Peterborough Road. Whilst still clearly institutional, they have a different character to the teaching blocks around Headmasters, being set within informal gardens and surrounded by trees. They have the vertical emphasis found elsewhere in the conservation area including features such as the 'turret' on the Knoll.

The changes in gradient both up and down the hill, but also across the road adds to the visual interest. On Grove Hill smaller buildings such as Elmfield Cottage, which has a much more cottage and residential character, or Leaf Schools which are converted stables and therefore reflect their lower status as service buildings, form a pleasing contrast to the central area of the School.

In addition on parts of both Grove Hill and Peterborough Road only the east side of the road has buildings fronting onto it, the other being the rear boundaries of gardens. The open spaces are much less formal than those higher up the Hill, usually being simple gardens or woodland scrub undergrowth and this gives the area a softer character. The feeling of enclosure is retained, despite the lack of buildings. On Peterborough Road, there are fences and walls surrounded by thick planting. On Grove Hill, the open space on the west side of the road is filled with woodland scrub planting, and rises steeply back from the road. The street trees, particularly on Peterborough Road, make an immense contribution to the character of the street, giving a real sense of entrance to the Hill through their tunnel of greenery. Glimpses of the

View from the War Memorial to Vaughan library - Transitional zone





Rear of Boarding houses on Grove hill



Football Lane: from urban form to semi rural

rear elevations of the boarding houses on Grove Hill are visible from Peterborough Road, and are of remarkably high architectural quality given that they are not the principal elevations.

4) Semi-rural tracks - Smaller roads leading off from Peterborough Road and Grove Hill also add to the character of the area. Football Lane begins with a short, straight and very steep road which is surrounded by substantial teaching blocks, culminating in the listed Music School and a large tree. This area still feels very urban and imposing buildings loom over the road. However, beyond the Music School, Football Lane peters out to a small track continuing straight down to open fields and lined with hedgerows rather than buildings. This sudden change between densely built urban form and green space is one of the key features of the conservation area.

Similarly Garlands Lane (formerly Rifle Range Lane) begins with the imposing Victorian School buildings which front on to Peterborough Road but soon takes on a much less formal and more rural character as it is lined with trees and hedges. These semi-rural

tracks lead to the School's playing fields.

5) St. Mary's - Around St Mary's, the character of the area is again quite different, distinct from the school architecture beneath it. It is serene even though it has well used footpaths crossing the churchyard. The churchyard itself has a mix of scrub planting and more tended lawn areas, which acts as a useful transition between the urban landscape lower down Church Hill and the open, semi-rural spaces of Church Fields. The Church Fields are a unique and lovely green open space, through which there are footpaths. They also form an attractive setting to the buildings further up the Hill, when viewed from further away.

6) Outer open spaces/fields - The open fields that surround the Hill are important in preserving the views and character of the Conservation Area. From the Hill it creates un-obscured views across Harrow and towards the centre of London.

Despite these varying zones, there is coherence in the townscape. The similar style of boundaries of the School buildings helps to visually tie the area together often with attractive red and blue brick

walls or iron railings mounted in stone sills. The curving flint wall to Rendalls is a particularly charming boundary and is picked up in the more dramatic stone and granite walls of Speech Room, again giving the area coherence.

Built form - Landmark, Neutral and Negative Buildings

St Mary's, the earliest building within this conservation area, is a key landmark. Sitting at the summit of the Hill, it is the most visible building, acting as an emblem of the hill itself. The west tower is Norman and the chancel and nave are 13th century. Major restoration and reconstruction was undertaken by Gilbert Scott in 1846. The Victorians were keen to effect

The Peachey Tomb, St. Mary's churchyard





The Vaughan Library, Grove Hill

improvements or undertake restoration of their buildings. The churchyard of St Marys contains several listed tombs and the listed lychgate. The Peachey Tomb is the most famous grave in the churchyard because it is noted as the place where Byron composed some of his early verses, later referred to as "my favourite spot". It is protected by a cage which was installed after Byron's fans kept trying to take mementos of the stone away.

The School buildings are an impressive combination of boarding houses and key teaching buildings. Of these architectural set pieces, and set high on the Hill is Old Schools. It is the first wholly brick structure in Middlesex and was originally used both as Headmaster's residence and schoolrooms. Given architectural strength by

its geographical position high up the slope and by its dramatic crow stepped sky-line, Old Schools provides a focus for the central area of the School.

The School expanded rapidly during the 19th century, and most of the buildings are either wholly Victorian or were remodelled at this time. Even Old Schools is partly 19th century since the eastern half dates from 1818-20. This rapid growth of the School created a group of buildings, concentrated within a very small area, by some of the outstanding architects of the period forming a remarkable example of late 19th century development. It is for this reason that in 1886 and 1892 the Architectural Association chose Harrow as the subject of tours to places of special architectural interest. Also, because the area was



Speech Rooms, Grove Hill

developed within a short space of time and because a handful of architects received repeat commissions, the buildings have a similarity in scale, materials and detailing which helps the whole area to have coherence.

The most prolific architect of this period for the School was CF Hayward. His exuberant Victorian building style dominates on much of the approach to the summit up Peterborough Road. Amongst his works are Garlands (1863) and Druries (1865). Garlands was considered by Pevsner to show 'the overwhelmingly Public School style at its most concentrated'. The boarding houses are very similar in their robust style and scale employing red and yellow brick with stone quoins or black bricks for definition, slate roofs, timber sash windows and high quality craftsmanship.

The Garlands, Peterborough Road



George Gilbert Scott was involved in 3 key buildings on the Hill; St Mary's, the School Chapel and the Vaughan Library. The chapel was built in 1854-6 and has created the familiar view of the larger and smaller spires atop the hill with the brightly coloured roof of the Library adjacent.

New Schools, by F Barnes, was built in 1855 on a site where there had been a large rectangular pond, which had been filled up with the



Music School, Football Lane

excavations from the Chapel, allowing the area to be redeveloped.

The new buildings were not admired from all quarters. George Russell in his autobiography "One Look Back" declared that Dr Butler, with "100 gifts and accomplishments had no aesthetic or artistic sense and, under his rule, the whole place was over-run by terrible combinations of red and black brick and the beautiful view from the school yard...was obstructed by some kind of play shed with a little spout atop- the very impertinence of ugliness". This of course refers to Speech Room built in 1874-7 by William Burges. Mr. Burges was a controversial architect to choose. He had a reputation as a bold innovator with an individual vision. His design was forced upon the building committee of the school by the Chairman, AJ Beresford-Hope, who was an architect himself. Massive amounts of earthworks had to be undertaken for the building. The excavated soil was used as the foundations for the beautiful terraced gardens behind the chapel and library. Speech Room was never completed as Mr. Burges had planned, but it remains one of the most interesting of his relatively few works. It is also an example of his use of cast iron - the roof is carried on cast iron pillars and above it metal trusses radiate from a central drum. The towers were added in 1919 and 1925.

Speech Room looms over the area, and its north tower is visible in views up Grove Hill.

Other famous architects involved in school buildings included Basil Champneys who designed the Museum Schools (1886) in a Norman Shavian "Queen Anne" style. Its external staircase is a distinctive feature, much admired by contemporary critics, which was devised so that access to the top storey - the museum itself- could be gained without inconvenience to the classrooms on the ground and first floors. ES Prior, who trained at Norman Shaw's office, designed the new Music School in 1891. In describing Prior, Goodhart Rendel thought him a 'rogue architect' and gave the Music School as the supreme example of "what he could do in this way, when really roused...".

The War Memorial was designed by Sir Herbert Baker. It forms an effective link between the Old School, and Speech Room, Chapel and Library. It was a difficult site for a new building which needed to be an impressive monument and yet not overpower the surrounding groups of buildings, but the building is both dignified and imposing.

Other smaller school buildings such as Museum cottage and Leaf Schools, break up the monolithic structures around and, in doing, add interest and character to the streetscene. Elmfield Cottage does so as it is simple, vernacular buildings with a shallow pitched slate roof. Furthermore, the Old Music School, now the Museum of Harrow Life, at the top of Football Lane employs similar

War Memorial Building, High Street





Museum of Harrow life, Peterborough Road

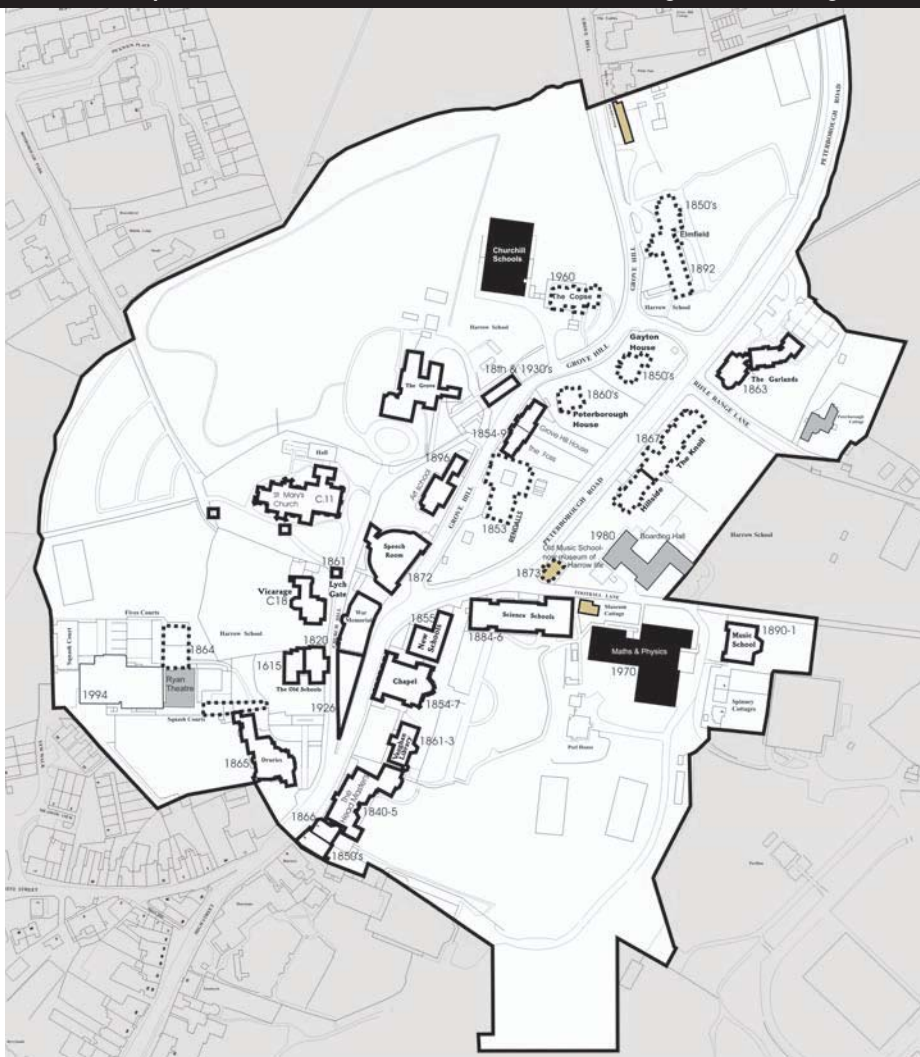
materials, brick and tile, to the boarding houses nearby, but because it is a low building, set into the steep hillside, it has a different and more humble character.

Despite all adding significance to the built form in this way, only Leaf Schools has listed building status. This is shown on the map below. This highlights the status of many landmark buildings as Listed or Locally Listed and

further unlisted landmark buildings.

The map below also highlights buildings which have a neutral or negative impact on the area. Certain buildings are considered to have a neutral impact since they have no great historical or architectural merit. Those considered to have a negative impact are considered to detract from the architectural and historical quality of the

Listed, locally listed, unlisted landmark, neutral and negative buildings



- Conservation Area Boundary
- Locally Listed
- Statutorily Listed
- Landmark unlisted buildings
- Neutral buildings
- Negative buildings



Wall along Grove Hill: decorative details are common throughout the area

surroundings (see negative features table on page 15).

Building Materials/ Textures - Local Details

The predominant building materials throughout the conservation area are red and yellow brick with quoins and dressings picked out in stone or black brick.

Roofs are of slate or clay tile. The windows are generally timber sashes although there are some timber casements on the lower status buildings further down the Hill. In the core area around War Memorial building, some of the pavements are of black or pink tarmac. Pavements inside the school are in York stone and some of the tarmac has been recently replaced with York stone to match. Kerbs are in granite, some of it pink, which adds colour to the street, whilst others are particularly wide, such as those on Church Hill, and should be preserved. Reproduction lamp standards are used throughout the area, which tie in well with the buildings and also give the streetscene coherence. Elements of Harrow School owned land or buildings are perceived to be

Fan-laid cobbles at the entrance to Druries

part of the public realm, such as the lights on the walls of War Memorial steps and Old Schools or the fan-laid cobbles at the entrance to Druries, and the quality and variety of these adds immeasurably to the attraction of the streets.

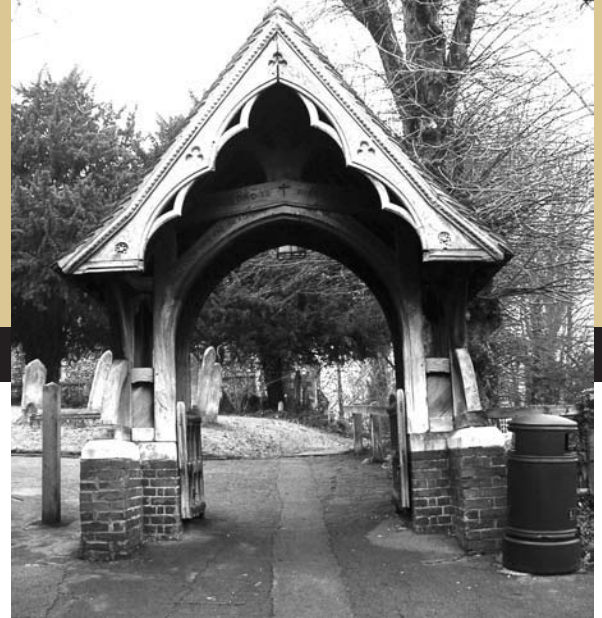
Built into various walls around the conservation area are stone plaques and unusual signs which all contribute to the distinctive character of the area. At the bottom of Grove Hill, unusual paving dark blue ceramic pavers survive, and in some instances granite or other stone kerbs, which should be retained. The successful illumination of St Mary's adds to both the immediate area and farther afield at night.



The assets of Harrow School Conservation Area have been described above and are summarised below.

- Outstanding quality of architecture
- Interesting form and grain to the townscape reflecting its use by the School
- Well maintained private buildings and open spaces
- Dramatic topography with changing levels and directions
- Large number of attractive long and short views including long distance panoramas
- Compact, detailed street scene ranging from small scale and lower status to large scale formal
- Interesting locally distinct plaques, street surfaces etc which add to the character of the street.

Ill placed street furniture at the Lych Gate, Church Hill



However, there are also negative features, problems and pressures to consider. These are highlighted in the following tables.

Negative Features?	Site Address	Description (Why negative? Scale? Design? Condition? Unauthorised work?)
Cars and Traffic	Throughout Conservation Area	* The historic roads on the Hill were not designed to take the amount of traffic and parking which now is part of normal life in any town. Large numbers of cars parked on the roads and on open space do nothing to enhance the character of the area. * There are also the separate concerns of Harrow School over their pupils' safety. * In addition, highway clutter can detract from the quality of the street scene.
Street furniture such as guard rails, signs, bins and salt bins	Throughout Conservation Area (guard rails on Peterborough Road and Grove Hill)	In general, the quality of the buildings is not matched by a quality of materials and design in the public realm. Street furniture is often ill placed, badly maintained and a visual nuisance and / or poorly designed. A bin adjacent to the Lych Gate is an example of poor placing. A graffitied bin and bench adjacent to the Peachey Tomb is an example of poor maintenance.
Street lights	Grove Hill	* Reproduction heritage lampposts are used successfully on the High Street and Peterborough Road, but ordinary, less attractive street lights exist on Grove Hill , which it would be beneficial to replace.
Poor quality street surfaces.	Intermittent locations throughout the Conservation Area and specifically: cobbles outside the Vicarage, within the Churchyard and paths through Church fields, tarmac outside the Speech Room	* Tarmac is often badly patched and breaking up.* Historic street surfaces, such as cobbles outside the Vicarage have been covered over to the detriment of the street. * Within the churchyard, the use of tarmac for the paths seems a missed opportunity, given the quality of the architecture of the church and of the open space. * The paths through Church Fields are broken and dark, which in combination with the thick tree screen can make the area feel intimidating, although serious attempts at addressing this problem have been made.
Wall to Grove Hill	Grove Hill	Deteriorating quality of wall.
Maths and Physics block	Football Lane	A 1960s block of little architectural merit
Churchill Schools	Grove Hill	Little architectural merit.

Identified Problems/Pressures	Site Address	Description (Why negative? Scale? Design? Condition? Unauthorised work?)
Harrow School's need to expand	Harrow School	The character of the conservation area is intrinsically linked to the use of the area by Harrow School. The vitality brought by the hoards of boys using it, the quality of the buildings and the School's commitment to properly maintaining them and the character of the area are dependent on the School being in the conservation area. However, the School's need to expand and to provide more facilities for pupils could conflict with the council's and residents' efforts to protect the environment. Much of the open space around the School buildings is designated as Metropolitan Open Land and a significant number of their buildings are listed.
No Survey of the Area since the 1980s / Limited protection for landmark listed, locally listed and unlisted buildings.	* Elmfield Cottage, The Museum of Harrow Life and Museum Cottage * Map on page shows buildings currently with listed and locally listed buildings	* With buildings of such quality it is surprising that not more of the area is listed or given higher grades. Indeed, Harrow on the Hill has not been re-surveyed since the mid 1980s and some buildings may not therefore be sufficiently recognised. * Elmfield Cottage, Old Music School (now the Museum of Harrow Life) and Museum Cottage, for example, are important in breaking up the monolithic structures around the area but do not achieve listed status. * There are no Article 4 Directions in place.
Limited protection for open fields/parks surrounding the Hill.	See map on page 7	The open fields that surround the Hill are important in preserving the views and character of the Conservation Area. From the Hill it creates un-obscured views across Harrow and towards the centre of London. Development in these park/field areas would then be highly detrimental to the conservation area, as it would obscure views and create an enclosed feeling to the Conservation Area. However, there is limited protection for these areas.
Conservation Area status may produce too great a focus on Harrow School	Conservation Area	* Both the Hill and the School are inextricably linked. The Hill owes its special character to the School. As such it is not sensible to separate one as a special case for conservation issues without considering the same issues for other.

HARROW SCHOOL

Public Consultation

This document has been the subject of public consultation - views were sought from local residents, councillors, Conservation Area Advisory Committee, Stanmore and Harrow Historical Society, English Heritage and Harrow School employees. This document was sent to each resident, displayed at the Council and Stanmore Library as well as being on the Harrow Council website. It has been amended to reflect the views expressed by respondents to the consultation.

Please call the number below for a large print version of this document, or a summary of this document in your language.

Albanian	Nëqoftëse gjuha Angleze nuk është ghuha juaj e parë, dhe keni nevojë për përkthimin e informatave të përmbajtura në këtë dokumentë, ju lutemi kontaktoni numërin dhënë.
Arabic	إذا كانت الانجليزية ليست لغتك الأولى وتحتاج لترجمة معلومات هذه الوثيقة، الرجاء الاتصال على رقم
Bengali	যদি ইংরেজি আপনার মাতৃভাষা না হয় এবং আপনি যদি এই প্রচারপত্রের তথ্যগুলোর অনুবাদ পেতে চান তাহলে যে টেলিফোন নম্বর দেওয়া আছে সেখানে দয়া করে যোগাযোগ করুন।
Chinese	如果你主要說用的語言不是英語而需要將這份文件的內容翻譯成中文，請打註明的電話號碼提出這個要求。
Farsi	اگر انگلیسی زبان اول شما نیست و شما نیاز به ترجمه اطلاعات موجود در این مدرک را دارید، لطفاً با شماره داده شده تماس بگیرید.
Gujarati	જો ઈંગ્લિશ તમારી પ્રથમ ભાષા ન હોય અને આ દસ્તાવેજમાં રહેલ માહિતીનો તરજૂમો (ટ્રાન્સલેશન) તમને જોઈતો હોય તો કૃપા કરી જણાવેલ નંબર ઉપર ફોન કરો
Hindi	यदि आपको अंग्रेजी समझ नहीं आती और आपको इस दस्तावेज़ में दी गई जानकारी का अनुवाद हिन्दी में चाहिए तो कृपया दिए गए नंबर पर फोन करें।
Panjabi	ਜੇ ਤੁਹਾਨੂੰ ਅੰਗਰੇਜ਼ੀ ਸਮਝ ਨਹੀਂ ਆਉਂਦੀ ਤੇ ਤੁਹਾਨੂੰ ਇਸ ਦਸਤਾਵੇਜ਼ ਵਿਚ ਦਿੱਤੀ ਗਈ ਜਾਣਕਾਰੀ ਦਾ ਤਰਜਮਾ ਪੰਜਾਬੀ ਵਿਚ ਚਾਹੀਦਾ ਹੈ ਤਾਂ ਕਿਰਪਾ ਕਰਕੇ ਦਿੱਤੇ ਗਏ ਨੰਬਰ ਤੇ ਫੋਨ ਕਰੋ।
Somali	Haddii Ingiriisku uusan ahayn afkaaga koowaad aadna u baahan tahay turjumidda xog ku jirta dokumentigan fadlan la xiriir lambarka lagu siiyey.
Tamil	ஆங்கிலம் உங்கள் தாய்மொழியாக இல்லாதிருந்து இப்பத்திரத்திலிருக்கும் தகவலின் மொழிபெயர்ப்பு உங்களுக்கு தேவைப்பட்டால் தயவுசெய்து தரப்பட்ட தொலைபேசி எண்ணில் தொடர்பு கொள்ளவும்.
Urdu	اگر انگریزی آپ کی مادری زبان نہیں ہے اور آپ کو اس دستاویز میں دی گئی معلومات کا اردو ترجمہ درکار ہے، تو براہ کرم دیئے گئے نمبر پر رابطہ کریں۔

020 8736 6180



Other Publications

The Council produce the following Supplementary Guidance leaflets that are relevant to the Harrow School Conservation Area

Conservation Areas: Residential Planning Guidelines
Listed Buildings: Planning Guidelines
London Borough of Harrow Listed Buildings
London Borough of Harrow Conservation Areas

Further information regarding the Statutory Background and general Council policies relating to conservation areas can be found in the Harrow Unitary Development Plan

Produced by:

LONDON BOROUGH OF HARROW
Environmental Services Department
Planning Services
Conservation Section

PO Box 37
Civic Centre
Harrow
Middlesex
HA1 2UY

Contact:

Conservation Officer 020 8424 1467
Assistant Conservation Officer 020 8424 1468

A Management Strategy for Harrow School Conservation Area

Conservation Area Appraisals provide an analysis of the character and appearance of the conservation area to identify those elements of the conservation area which should be protected as well as opportunities for change, improvement or enhancement. This management strategy uses this analysis to look forward and set out how the area's character will be preserved or enhanced. It sets out policies and controls to protect and preserve the area and actions to enhance it. Each section is linked to the relevant policy guidance, which provides the framework for the future management and enhancement of the conservation area. The following proposal statement provides a list of actions, related to those features identified as 'negative'.

Identified Negative Features	Site Address:	Proposed Actions?
Cars and Traffic	Throughout Conservation Area	* The Council should further efforts to reduce speeds and increase visibility for pedestrians through: new road narrowings, encouraging local support for a reduction in speed limits and keeping highway clutter to a minimum, particularly during traffic work. Textured traditional materials can be used to help keep traffic speeds down. * New proposals for decluttering can be prioritised with reference to this audit and works can be carried out in sympathy with the Conservation Area's objectives with NHP objectives. * Much good work has already been undertaken in the Local Road Safety Scheme and the Heritage Economic Regeneration Scheme which have sought to reduce street clutter, improve footway surfaces and reduce traffic and its speed using high quality appropriate materials. The Council will support these schemes and continue to pursue sources of funding for the high quality conservation grade materials that are required to improve and enhance this area's road safety.
Street furniture such as signs, bins, salt bins and guard rails	Throughout Conservation Area (guard rails on Peterborough Road and Grove Hill)	* Paint guard rails * Consider replacement with more sympathetic design. * Attention to placing and design for existing and future street furniture * Regular maintenance * A streetscape audit, as recommended by English Heritage to record all the memorials and plaques which form part of the character of the area, and to record unusual and special elements of the public realm. This document will ensure that as elements of the street are renewed, the Council will be aware of what is special and needs to be retained, where to improve and what sorts of materials and furniture may be appropriate. This document will be published separately and linked to the Council's forthcoming 'Street Design Manual' as a special maintenance and management plan for Harrow on the Hill. * Prioritise proposals for decluttering, cleaning and greening for New Harrow Project Managers with reference to this audit and works can be carried out in sympathy with the Conservation Area's objectives.
Street lights	Grove Hill	* Streetscape audit * Reproduction heritage lampposts are used successfully on the High Street and Peterborough Road. It would be beneficial to similarly replace the less attractive street lights exist on Grove Hill.

Poor quality street surfaces.	Intermittent locations throughout the Conservation Area and specifically: cobbles outside the Vicarage, within the Churchyard and paths through Church fields.	* Streetscape audit * Resurfacing of badly surfaced pavements, for example, outside the Speech Room * Uncover cobbles outside the Vicarage and ensure other historic street surfaces, for example within the Churchyard, are replaced like for like as far as possible * Replace paths through Church Fields * Possible funds such as "Living Spaces" may be appropriate for Church Fields. * Add lighting to these paths through Church fields/ thin hedges. * When there is the need for replacement as far as possible replace like for like e.g. walls, style/design, lime mortar.
Wall to The Grove	Grove Hill	* Liaise with Harrow School and provide repairs guidance
Maths and Physics block	Football Lane	* Do not put forward for added protection such as listed building status. Work with School on long term.
Churchill Schools	Grove Hill	* Do not put forward for added protection such as listed building status. Development plans for School include this site

- 1) Poorly maintained street furniture to the left of Peachy Tomb, St. Mary's Churchyard
- 2) Poor quality street surface, in front of Speech Room, Grove Hill
- 3) Poor quality design in the public realm of street furniture, Peterborough Road towards Grove Hill
- 4) Wall to The Grove, Grove Hill
- 5) Maths and Physics Block, Football Lane (PICTURES OF THESE TO BE ADDED)

Enhancement Proposals

These refer to those features identified in the Conservation Area Appraisal as problems or pressures. Proposals are put forward to retain and enhance the Conservation Area in relation to specific problems/pressures.

Identified Problems/ Pressures?	Site Address:	Proposed Actions?
Harrow School's need to expand	Harrow School	* Managing change and continuing to work with the School will be essential in the future to resolve any issues. * The Council should help them and all potential developers identify suitable sites for new buildings to take pressure off sites in the central conservation area. * Development design briefs - propose that all new development aspires to a quality of design, related to its context, which may be valued in the future. development is in line with existing urban grain, therefore that it provides variety, yet also compliments surroundings (see built form section in Conservation Area Appraisal)

No Survey of the Area Since the 1980s / Limited protection for landmark listed, locally listed and unlisted buildings	* Elmfield Cottage, The Museum of Harrow Life and Museum Cottage * Map on page shows buildings currently with listed and locally listed buildings	* The Council will encourage the Department of Culture, Media and Sport to resurvey the Harrow on the Hill area to assess listed, locally listed buildings and unlisted in order to ensure their proper protection. * Consider the listing of further buildings * Introduce photo surveys every four years as a means of monitoring change.
Limited protection for open fields/parks surrounding the Hill.	See map on page ???	Consider including further surrounding open land in the Conservation Area.
Importance of landscape setting - Conservation Area status may produce too great a focus on Harrow School	Conservation Area	* Both the Hill and the School are inextricably linked. The Hill owes its special character to the School. As such it is not sensible to separate one as a special case for conservation issues without considering the same issues for other. Therefore, the Council will consider application of relevant policies and proposals to the wider Hill area.

1) View Towards Open Fields Surrounding the Hill from (left) Byron Viewpoint and (right) The Garlands

Additional Proposals

- 1) The Council will continue to apply for grants, and to endeavour to assist the Harrow Hill Trust and the Forum to apply for grants, to undertake enhancement and improvement schemes.
- 2) Work with Harrow Heritage Trust and School to provide grant aid assistance for repair works at Harrow School.

Monitoring

- 1) Carry out a dated photo survey every four years.
- 2) Refer unauthorised developments noted to Enforcement.
- 3) Consult local amenity groups for thoughts on the Conservation Area every four years.
- 4) Before new work is agreed in the area ensure Conservation carry out an on-site inspection.
- 5) Maintain links with Harrow on the Hill forum and HH Trust for feedback on issues in the Conservation Area.

Policies

The following policies have been identified as being of key relevance to this area:

1. The Council will require that all new development respects the historic character and layout of the area.
2. There will be a presumption against the demolition of buildings which may make a positive contribution to the conservation area.

3. To ensure that the character of the conservation area is both preserved and enhanced, proposals for development should:

- a) Respect existing properties and areas of open space in terms of bulk, scale and siting.
- b) Not impede significant views (as defined on the Designation map), diminish the gap between buildings or intrude into areas of open space.
- c) Respect the existing layout and historical form of the townscape and street scene.
- d) Respect and complement the existing buildings in terms of design, detailing, scale and materials in any proposals for extensions or alterations.

4. Alterations to buildings that result in a detrimental impact on the appearance of elevations that face a highway, including alterations to chimneys and rooflines, will be resisted.

5. The Council will encourage the retention and improvement of both public and private green spaces.

6. The Council will retain or, where necessary replace, street trees.

7. The Council will encourage the utility companies to install the minimum amount of new street furniture and to locate any furniture sensitively.

8. Where within Council control, the retention or reinstatement of traditionally designed street furniture and materials, such as street lamps, will be required.

9. Where in Council control, new street furniture will be required to be well sited and designed. We will seek to ensure that redundant and unsightly street furniture will be removed where opportunities occur.

10. The retention of visually important walls which are characteristic of the area will be required.

11. Trees and groups of trees will be further protected by the creation of additional tree preservation orders where appropriate.

12. Development adversely affecting significant trees will be refused.

13. Proposals for telecommunications equipment which detrimentally affects the character and appearance of the Conservation Area will be refused



Meeting: Strategic Planning Advisory Panel
Date: 14 March 2006
Subject: Conservation Area Appraisal and Management Strategy for Old Church Lane conservation area
Responsible Officer: Executive Director (Urban Living)
Contact Officer: Lucy Haile/Tom Wooldridge
Portfolio Holder: Planning, Development and Housing
Key Decision: No
Status: Part I
Appendices:
1 Old Church Lane Conservation Area Appraisal and Management Strategy

Section 1: Summary

Decision Required

The panel is invited to:

- (1) Consider the revised draft of the Old Church Lane Conservation Area Appraisal and Management Strategy and subject thereto
- (2) Recommend the said revised draft to the Portfolio Holder for formal adoption

Reason for report

The Planning (Listed Buildings and Conservation Areas) Act 1990 advises Local Planning Authorities to review their conservation areas and publish proposals for their preservation and enhancement and the appraisals and strategies within this report seek to fulfill that objective. In addition, Members agreed a programme of completing conservation area appraisals and management strategies and this report seeks to meet that programme as well as seeking to improve the Council's performance against the new Best value Performance Indicator (BVPI219) which assesses the number of conservation areas with up to date appraisals.

Benefits

The Council will be working towards its statutory requirements and towards improving its performance against BVPI 219 on conservation areas.

Cost of Proposals

Costs to be contained within the Planning and Development Services existing budget.

Risks

Not having specific proposals for individual conservation areas reduces opportunities for seeking external grant funding for projects and increases the likelihood of losing planning appeals

Implications if recommendations rejected

Delays to the programme leaving conservation areas without any guidance for longer and impacting on BVPI 219.

Section 2: Report

2.1 Brief History

- 2.1.1 On the 19th September, 2002 Unitary Development Plan Panel resolved to recommend to Cabinet a revised boundary for Old Church Lane Conservation Area, a new Article 4 Direction for the area and an enlarged Archaeological Priority Area. That the Unitary Development Plan Panel also resolved to recommend the contents of the draft study of the area be published for public consultation purposes. Cabinet agreed these recommendations at the meeting on 15th October, 2002. Government guidance in PPG15 (Planning and the Historic Environment) asks for wide consultation when formulating proposals for the preservation and enhancement of conservation areas, and English Heritage's recently published, "*Guidance on Conservation Area Appraisals*" encourages public consultation and involvement to ensure that the resulting documents have more weight within the planning framework. This report seeks to agree the final version of the study to be adopted by the Council
- 2.1.2 All the owners/occupiers of the properties within the conservation area were sent a copy of the Draft Study asking for comments. Copies of the Draft Study were also sent to 3 Councillors for Stanmore Park, English Heritage, Harrow Heritage Trust, all 14 members of the Conservation Areas Advisory Committee who represent local and national amenity societies, Stanmore Society, LAMAS, Stanmore and Harrow Historical Society and Stanmore Library. The draft study was published on the Council's web page.
- 2.1.3 There was 1 email in response from English Heritage and one letter from The Stanmore and Harrow Historical Society. The former asked that those unlisted buildings that make a positive contribution to the area be

- identified, as well as neutral and negative elements in the Conservation Area as this can be useful in appeal cases. It also asked that certain photograph captions be clarified and that there be greater consistency about which photographs show historic views and to provide dates for those that do. The latter agreed in principle with the study, that is, to conserve the area as it is as far as possible. For that, it welcomed the management proposals put forward. The letter from The Stanmore and Harrow Historical Society contained a copy of the draft with a few typographical and factual errors highlighted.
- 2.1.4 The conservation area appraisal has been altered in line with these consultation responses. Also, the study was revised in line with new guidance on the preparation of conservation area appraisals and management strategies from English Heritage in 2005, mentioned earlier. This meant that although the substance was not changed significantly, a planning policy context was added, the historical development altered to increase focus on how the current townscape has developed and a greater emphasis was placed on graphic presentation by increasing maps, tables and current photographs of the area. Also, it was split into two sections: the conservation area appraisal and the management strategy. A greater emphasis on resolving problems and enhancement, including monitoring proposals, was included in the management strategy.
- 2.1.5 All owners and occupiers in the conservation area were informed of the revised draft as well as 3 Councillors for Stanmore Park, English Heritage, Harrow Heritage Trust, all 14 members of the Conservation Areas Advisory Committee who represent local and national amenity societies, Stanmore Society, LAMAS, Stanmore and Harrow Historical Society and Stanmore Library. The revised draft was made available: on the Council's website, at Stanmore Library and at the Planning Services Reception at Garden House. A copy of the revised draft was sent out to the previous respondents. To date no comments have been received. A public meeting is due to be held on the 7th March, 2006 at the Bernay's Institute, Stanmore. Any comments from all public consultation will lead to a revision of the documents if necessary and will be reported in an addendum to the Committee.
- 2.1.6 A copy of the final version, to be agreed for adoption by the Council, is attached as **Appendix 1**.

2.2. Options Considered

- 2.2.1 This approach to adopting the appraisals and management strategies followed extensive consideration of the options for producing such documents, and their eventual status. Following the consideration of options at the SPAP meeting on 1st December 2005, Cabinet resolved on 15th March 2005 that non-SPD appraisals which would be linked to an overarching conservation area SPD would be the best approach. The production of the "Harrow Conservation Areas SPD" is dealt with as a separate item on the agenda. These appraisals follow that agreed structure and have been re-written to link them to the emerging overarching SPD, as well as the existing policy framework.

2.4 Consultation

2.4.1 This report sets out the detailed consultation undertaken on the conservation area appraisal and management strategy.

2.5 Financial Implications

2.5.1 The costs associated with the study mainly relate to its initial drafting, which has already been undertaken within existing resources. There are cost implications for the printing of the final study, but making significant use of the Council's website should reduce the need to produce significant numbers of these documents. In addition, the Council already charges a small fee for printed copies, which helps to recoup the costs of the initial printing. These amounts are therefore likely to be minimal and can be contained within the existing Planning and Development Services budget.

2.6 Legal Implications

The Old Church Lane Conservation Area Appraisal and Management Strategy, when adopted, will be a material consideration in the determination of development applications within its area.

2.7 Equalities Impact

None

2.8 Section 17 Crime and Disorder Act 1998 Considerations

None

Section 3: Supporting Information/ Background Documents

English Heritage "Guidance on Conservation Area Appraisals".
Report and Minutes of the Unitary Development Plan Advisory Panel 19th
September, 2002
Report and Minutes of Cabinet 15th October, 2002
Letters received in response of the consultation

OLD CHURCH LANE

Draft

CONSERVATION AREA APPRAISAL

AREA 3



The Old Church Lane Conservation Area contains an unusual mix of very old and important buildings and 1930s development in an "Old-World" style which attempts, and succeeds, in mimicking the

historic buildings around it. Although there has been some more recent development and the area is close to the hustle and bustle of Stanmore town centre, it still retains its picturesque charm, which is quite different in character to the rest of Stanmore.



Entrance Piers to Stanmore park

Designation and Extension of Conservation Area Status

Conservation area status was designated in 1975 under Section 277 of the Town and Country Planning Act 1971. Local Planning Authorities considered which zones should be selected as 'areas of special historic or architectural interest, the character or appearance of which it is desirable to preserve or enhance'.

The initial boundary enclosed the church and church yard of St. Johns, Bernays Gardens and a number of timber framed buildings of medieval origin. In 1980 this was extended to include the original Georgian stone gate piers to Stanmore Park which are a record of the former house. By 2002 it had extended southwards including parts of Rectory Close, Gordon Avenue and Cherry Tree Close.

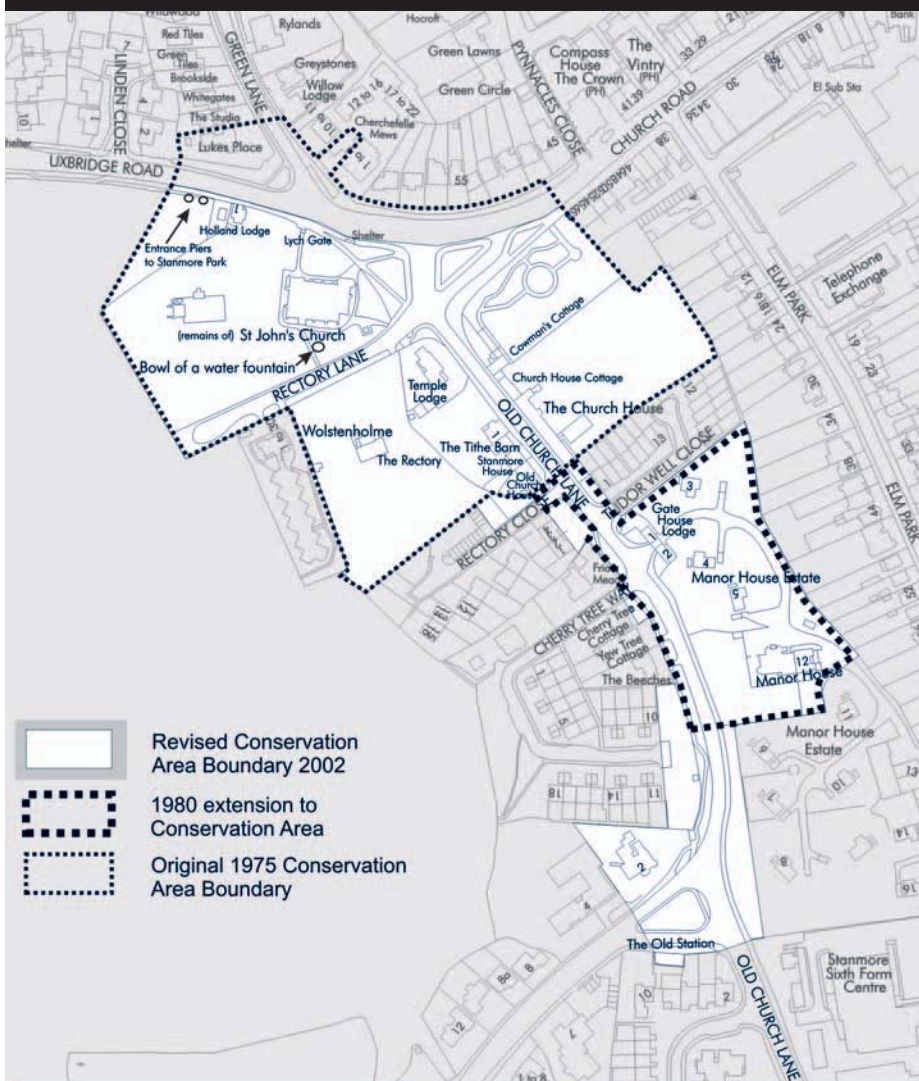
Nature of this Appraisal

This Conservation Area Appraisal (C.A.A.) aims to set out what is the areas special character and appearance and how that can be preserved or enhanced. C.A.A.s offer an opportunity to reassess the designated area and to evaluate and record



Old Brick Church

How the Conservation Area has grown over the years



its special interest. The appraisal will provide the basis for making sustainable decisions about the future of the area through the development of management proposals, which are set out in the linked document called 'A Management Strategy for Old Church Lane Conservation Area'. Policies to safeguard the character are set out in the management strategy.

It is important to note however, that no appraisal can ever be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply it is of no interest.

Planning policy context

This appraisal is set within broader Conservation Area Policy guidance contained in local policy for Harrow in the HUDP and LDF, the forthcoming Conservation Area SPD, and within national policy provided by PPG15 and the 1990 Town and Country Planning Act.



ch, now ruined

Historical Development

To understand the area's character today, it is important to consider its history. Its setting within Great Stanmore can be traced back to entries in the 1086 Domesday Survey. This refers to manors called Stanmere, owned by Robert Count of Mortain (William the Conqueror's half brother) and Stanmera, owned by Roger de Rames. The former lands later became Great Stanmore. The Count of Mortain's lands included Old Church Lane. The manor owned by de Rames later became Little Stanmore.

The Domesday Survey of 1086 suggested that much of the land in Stanmore was in plough or lapsed arable use. Agriculture continued to be the main land use. This explains the Tithe Barn on Old Church Lane, which dates back to the 15th century, but was extensively rebuilt in the 18th century. This would have been used to store crops given in payment to the manor by the Parish. During the 17th and 18th

centuries, Old Church Lane would have consisted of large residences such as the Manor House and their grounds, surrounded by meadows. In 1721 the 1st Duke of Chandos assisted George Hudson in building a rectory. It was a fine house with a pedimented gable. It was demolished in 1960 and a new rectory built on the same site. Stanmore Park, though mostly outside the conservation area, would have had a significant impact on Old Church Lane.

Recent archaeological excavations undertaken there before its redevelopment revealed that there was a smaller building, which may have been a Squire's villa, probably dating back to the early 18th century which was subsumed into a much larger mansion, built in the 1760s, for the banker Andrew Drummond. The increase in large houses such as these along with the

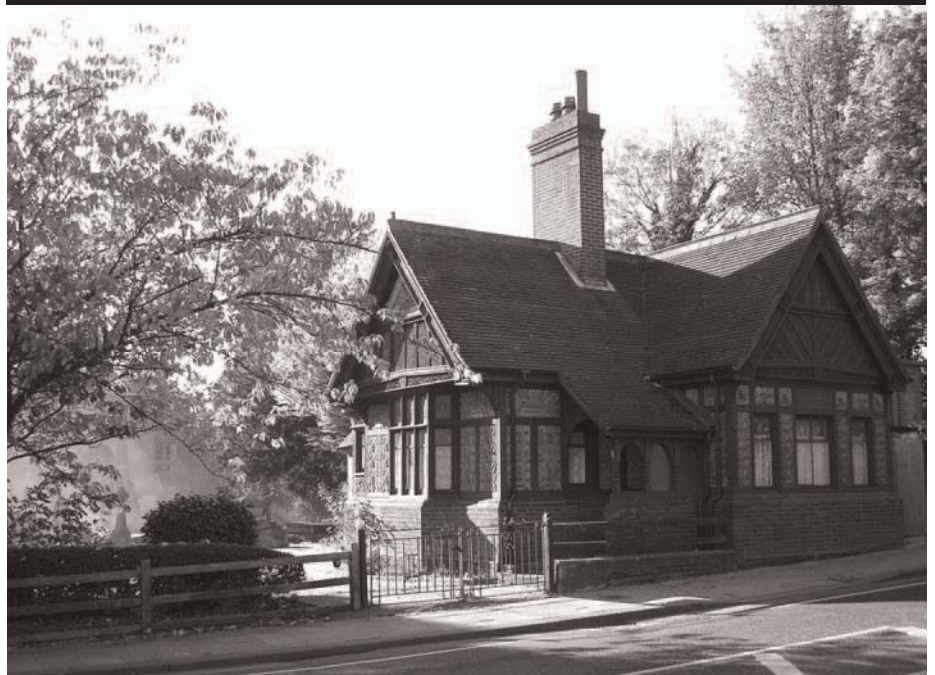
large number of gentlemen's residences in the area would have required servants and tradesmen, who would have lived in the lower status houses at the bottom of Stanmore Hill.

The next significant change was the abandonment of the old brick church (now ruined) dating back to 1632, since it had fallen into a state of dilapidation and there was little room for the congregation. It was considered more economic to build a new, larger church next to the brick church. The new church was built in 1849 and consecrated by the Bishop of Salisbury in absence of the Bishop of London in 1850. Within the Church yard there is a small lodge built in 1881 to commemorate Robert Hollond, the owner of Stanmore Hall, who was an MP and was famous for his ballooning.



Tithe Barn

Holland Lodge





Stanmore station when fully operational in the 19th century, and right, now a private house

The above developments prior to 1890, which are still evident today are highlighted on the current map of Old Church Lane below. Similarly, developments from 1890 to 1935 and from 1935 onwards which are still present today are highlighted. Details of these follow.

In 1890 the railway line was extended from Wealdstone to Stanmore. Frederick Gordon, who owned Bentley Priory and had converted it to a hotel, paid for the extension and for a terminus in Old Church Lane. He was keen to bring in visitors. The station and line had closed by 1964 as they

were not profitable. The station was converted to a private house and the station yard was built upon. The lower portion of the station building still exists although much altered.

The majority of changes, and where Old Church Lane achieves much of its picturesque charm, is from the 1930s developments. The Old Manor House was demolished in 1930. Samuel Wallrock had purchased The Croft, a Victorian villa to the south of the Manor House two years earlier, and began to turn it into an "Old World" Manor House. The new Manor House was made to look older with

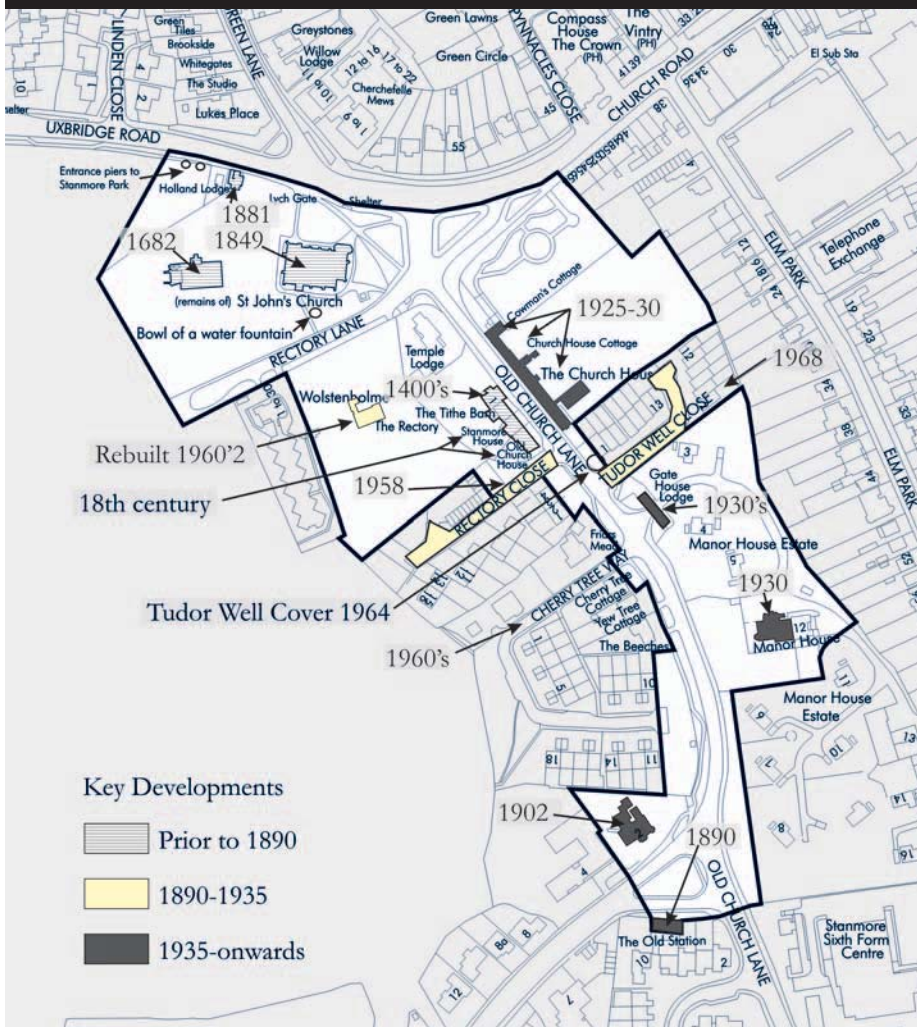
second hand clay tiles, stained glass from a church and panelling from Lord Leverhulme's estate, even older trees were transported to the site.

The range of buildings from Cowman's Cottage to the Church House were reconstructed by Wallrock between 1925-30 from cottages and outbuildings, probably of the old Manor, to form a 'Tudor' banqueting hall and guest accommodation for the new Manor House.

The Gatehouse Lodge and Coach House are also contemporary. Wallrock became bankrupt in 1932 having spent an estimated £100,000 on the house and estate, so the Church took over the decorative outbuildings as a church hall and the verger's residence. The northern part of the grounds were purchased from the Parochial Church Council in 1948 and opened to the public as Bernays Gardens in 1950. On the other side of Church Road, Pynacles burnt down in 1930 and so several acres of land were released for development. The loss of these two major buildings on the cross-roads allowed the increasingly busy junction here to be altered, changing the layout of the top of Old Church Lane.

From 1938, when the RAF moved into the Stanmore Park, pressure for additional residences for personnel led to increasing development off Old Church Lane, such as Cherry Tree Way, which was built in the late 1960s. The Manor House was taken over by the RAF in 1940. Other developments such as Rectory Close in 1958 and Tudor

Map to show Historical Development of Old Church Lane





(From left) Cowmans Cottage, Church House Cottage and The Church House



Tudor Well Close

Well Close in 1968 have changed the face of Old Church Lane. Most recently new houses and flats in an 'Olde Worlde' Arts and Crafts style have been built on Cherry Tree Way as the RAF properties were sold.

New developments have often incorporated relics of the past within them. The tudor well cover, where Tudor Well Close gets its name, is thought to have been moved from the grounds of the original timber framed Manor House. The origins of the old lychgate, located in the open space by Cherry Tree Way, are not clear. It only appears in current position in 1964 Ordnance Survey but appears further up the road in an earlier map of 1935. The bowl of a water fountain, originally located at the junction of Green Lane and Stanmore Hill, has been relocated outside St John's.

Archaeology

Medieval Stanmore would have had at its centre an earlier church which existed on Old Church Lane to the south of the present churches. Its foundations were found in the construction of the railway. It was thought to date from the 14th century but there may have been an earlier church on the same site. Houses would have clustered around it with meadows around them. The section of the Architectural Priority Area south of the Conservation Area marks where the earlier village may have lain. Evidence of the village's shift to the north may be exposed here.

The Archaeological Priority Area was extended northwards in 2002 to incorporate the Conservation

Area. This is a positive addition since it is clear that archaeological remains are also present here. Indeed, the Stanmore area is largely built up, and much of the underlying archaeology may have been disturbed by modern development, which makes it particularly important to investigate the remaining intact areas. The extension will aid planners and prospective developers when considering applications in the area. The continuity of the community throughout the past 1,000 years in a semi-rural

environment is interesting, and the development of the settlement can be traced through to the modern day with the aid of archaeology.

Built Form

The architectural character reflects the development of the area. Much development occurred from the 1930s onwards but in a mock Tudor style, complementing the genuinely ancient buildings nearby. Dark red handmade bricks and handmade clay tiles are the predominant materials used in this

The Manor House



area. There is some exposed timber framing and panels of render.

The following explains key buildings in the area. These are highlighted in the map below as listed, locally listed buildings and landmark unlisted buildings.

Churches

The two churches are the most striking and dominant buildings in the conservation area. The ruined brick church (1632) is a highly picturesque ruin but also of

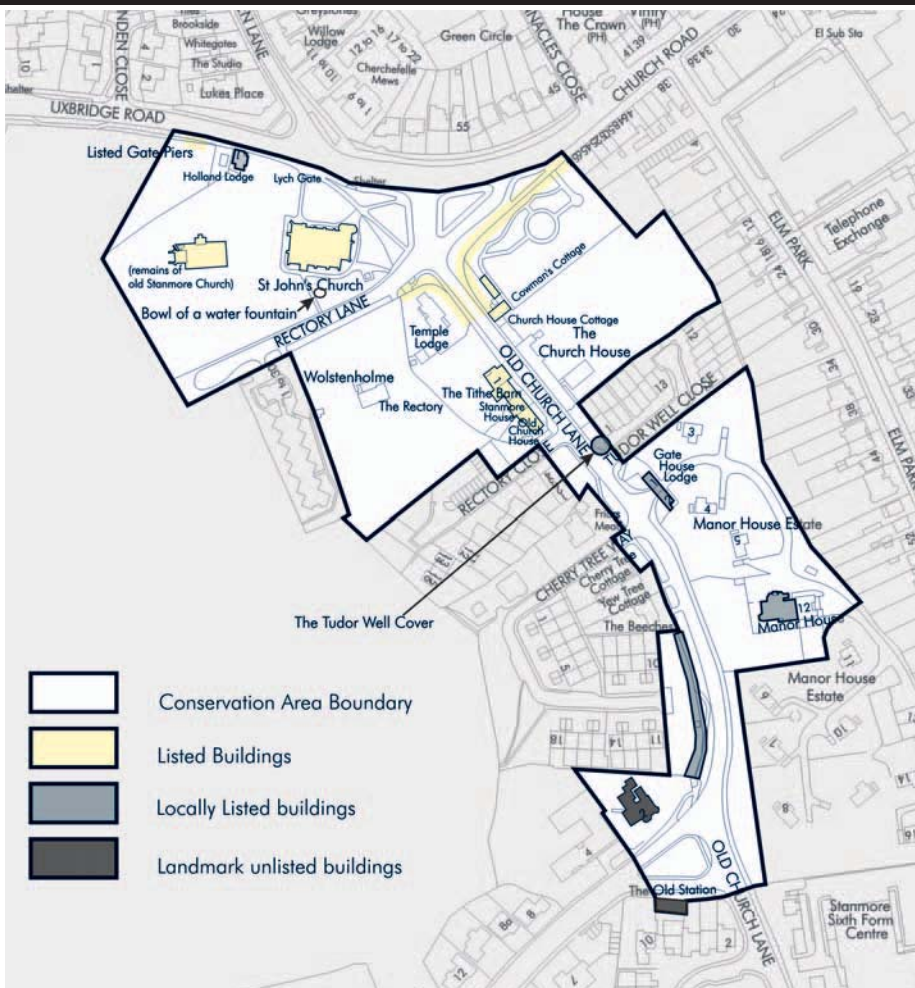
significant architectural importance as a rare example of an early Classical brick church. It was stark in its simplicity without aisles or a choir. It is very rare to have two churches within the same Churchyard.

St John the Evangelist is a handsome building in the Decorated style. It is of Kentish Rag and Bath Stone, materials which stand out against the dark red brick of the surrounding buildings. Its battlemented tower is the focus of views around the area and particularly down Green Lane and from Old Church Lane..



The church of St John the Evangelist

Map of Listed, Locally Listed buildings and Landmark Unlisted Buildings



Historic Outbuildings and Barns

The Tithe Barn on the west side of Old Church Lane dates back to 15th century, but was rebuilt extensively in 18th century. At the same time stabling for 6 horses and a covered way was added at the southern end which now form Stanmore House and Old Church House. Their former role and this organic growth has ensured that the buildings do not have a conventional residential appearance, being more informal with differing roof pitches and shapes. They make an attractive group with leaded lights, exposed timber framing, and small, pitched dormer windows. All are listed Grade II.

Opposite, outbuildings with elements dating from the 16th century onwards, which were formerly associated with the old Manor House, were remodelled to form a row of brick buildings, now in use as residences and as the Church Hall, which are described in more detail next.



Ornate Tudor style chimneys on Church House

it would be damaging to lose either from the Conservation Area.

"Tudorbethan" development in the 1930s

There are several Tudorbethan buildings in Stanmore, built by Samuel Wallrock. The Manor House, Gatehouse Lodge, Coach House, Cowman's Cottage, Church House Cottage and Church House were constructed or remodelled in the 1930s to create deliberately "period" buildings using historic details such as stone mullion windows, leaded lights and exposed timber framing. The row of buildings from Cowman's Cottage to Church House have ornate Tudor style chimneys, stone mullion windows with leaded lights and the rear has

exposed timber work with infill render panels. The Manor House too has very tall chimneys, steeply pitched roofs and an elaborate porch with timber supports carved like barley twists.

Other structures

The red brick walls to Bernays Gardens form both a definite boundary, enclosing the streetscene, and also create a "secret" garden within. They have clearly been repaired and rebuilt several times and comprise blocked doorways, buttresses and different bricks. These alterations add to their aesthetic appeal.

The tudor well cover, now used as a large, ornate plant pot, is easier to miss but an interesting relic of

19th Century Buildings

The small lodge in the churchyard, 1 Uxbridge Road, known as Holland Lodge in memory of Robert Holland is an attractive Victorian building with decorative tile roof and ornate ceramic panels. It has exposed timber framing in common with other buildings in the conservation area. This is now Grade II listed.

The Station built in the late 19th century is much altered, having lost its decorative tower entrance. The building retains its stone mullion windows and is important in terms of the history of the area.

Orme Lodge opposite is a substantial Edwardian building, now used as a care home. It is in attractive red brick with decorative tile hanging. The building provides a strong architectural feature on this corner site.

Both the Station and Orme lodge remain unlisted buildings. However,

Old Church House, Stanmire House and the Tithe Barn



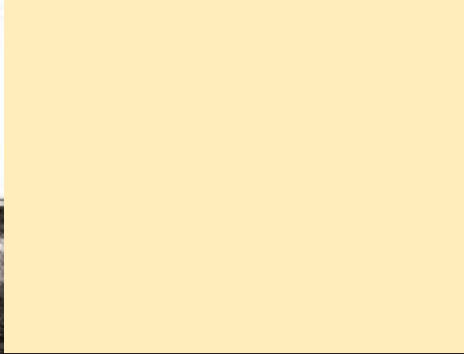


Tudor Well cover, Tudor Well Close

the past which has elaborately detailed stonework.

The second lychgate, by Cherry Tree Way, is constructed of fairly old timbers, although these are not joined together. Despite not being as old as it might appear, it has a quirky and attractive presence in the streetscene.

On the edge of the conservation area, the entrance piers to Stanmore Park are an attractive reminder of the scale and grandeur of the house that once stood there



Gatehouse Lodge

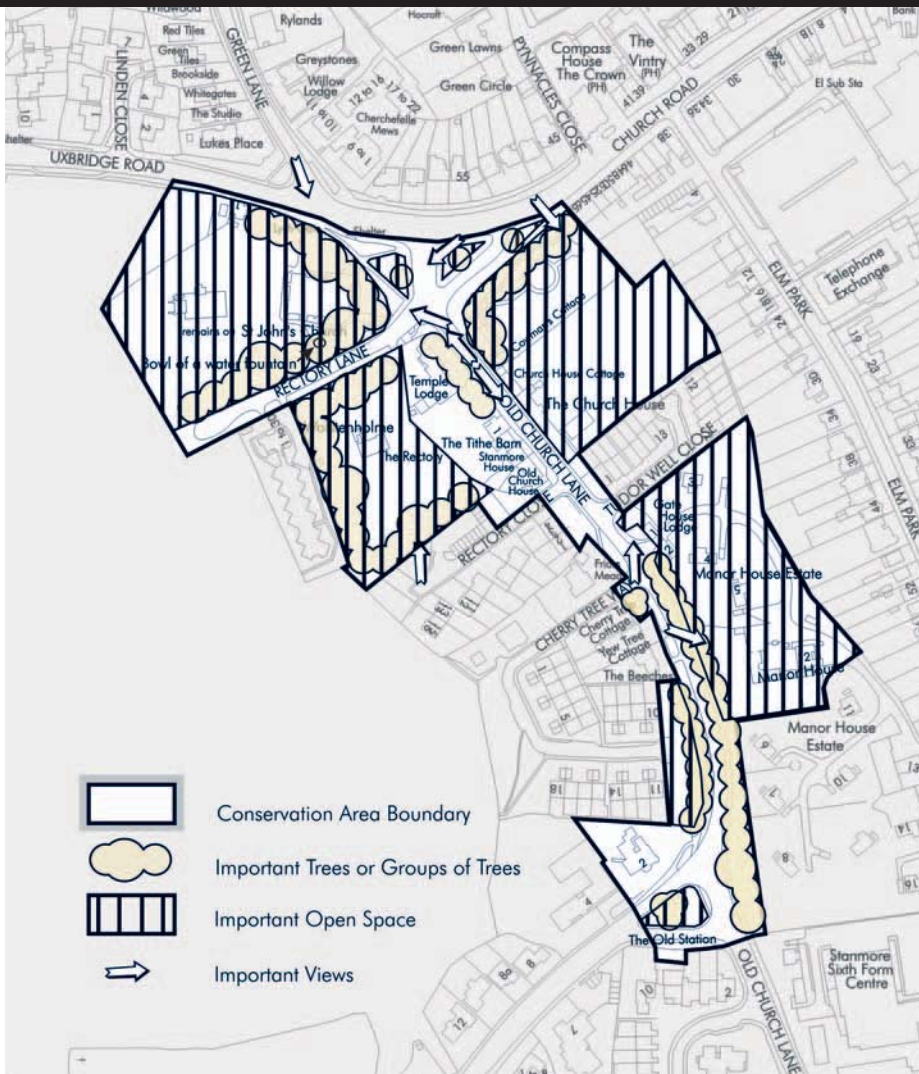
and were recently restored following the redevelopment of Stanmore Park (see picture on page 2).

Spatial analysis - Streetscape and Open spaces

The area contains an interesting mix of large open spaces and groups of tightly packed buildings. This is highlighted in the map below. This mix reflects the area's history. Large houses in substantial grounds were part of the early character of the area. These large

houses were replaced with smaller buildings spread throughout their grounds, but still retaining considerable open space around them. Drawing the area together however are similar building materials, important mature trees (highlighted below) and the primarily residential use of space. Indeed, many historic buildings were converted to residential use including tithe barn. Unifying the area further, many buildings are of one or two storeys. Some later 1960s development is higher but does not sit well with the historic structures around.

Map to show Key Views, Vegetation and Open Spaces



Around the junction of Old Church Lane and Church Road/Uxbridge Road, there is a significant area of open public space. The junction itself is large but is broken up by areas of soft landscaping and mature trees. Adjacent to this is the large churchyard of St John's which is surrounded by hedging and has many attractive trees, helping to create calm within the churchyard despite its proximity to busy roads. The trees within the churchyard and the hedge and tree screen on the boundaries to The Rectory and Wolstenholme not only act as an important setting to the two churches but also create an attractive green 'tunnel' over Rectory Lane. This forms one of a number of key views within the area, highlighted left.

Old Church Lane's attractive roofscape helps make this area stand out. The two towers of the churches both create dramatic views whilst the large, ornate chimneys on the Church House, The Gatehouse Lodge and the



High walls and trees to Bernays gardens and Temple Lodge



A section of Dense Trees surrounding Manor House Estate

Manor House give the skyline interest. Together unusual roofs, key views across open spaces and to significant buildings, form additional points of interest.

The high brick walls to Temple Lodge and Bernays Gardens, the range of 'Tudorbethan' buildings from Cowman's Cottage south and the Tithe Barn which all front directly onto the pavement make the entrance into Old Church Lane feel quite enclosed and immediately give the area a strong architectural and historic character. Large trees project over these walls, softening the built streetscape whilst further enclosing views up and down the road. They also indicate that there are significant areas of open space behind the high walls. Bernays Gardens feels secluded and separate from the roads outside because of these high walls and large trees, which is a key part of its attraction as a space.

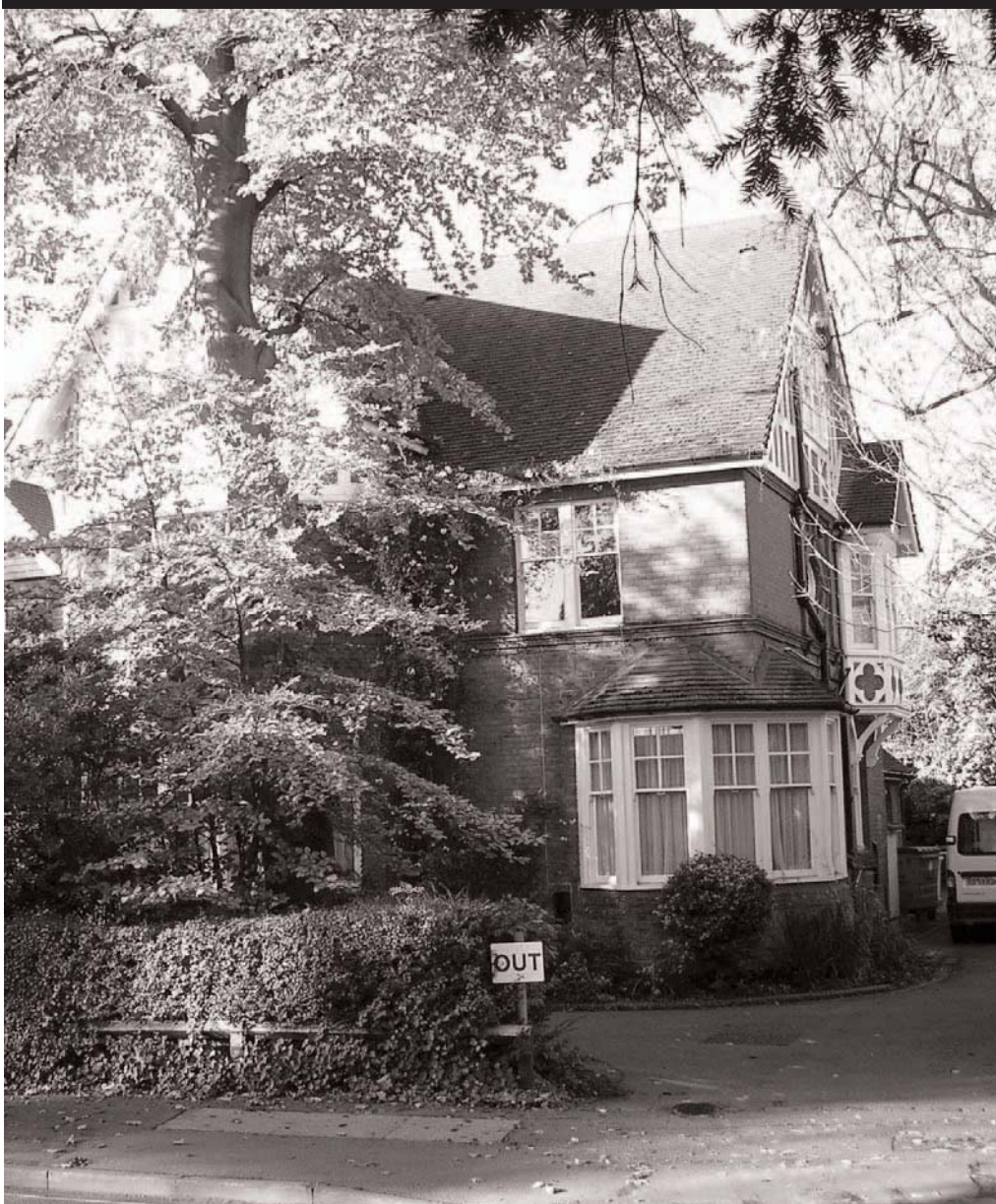
Further down Old Church Lane, the streetscape widens out, as there are open front gardens and wide grass verges. These grass verges soften the streetscene and combined with a change in level between the road and the pavement, help to separate pedestrians and houses from the road. Gatehouse Lodge is set away from the road, signifying its role as a separate entry-way and allowing short views to this attractive building.

Beyond the Lodge, the thick mature tree screen surrounding the Manor House Estate is key to the character of this part of the conservation area providing glimpsed views to the Manor House behind the trees.

Opposite, the open space to Cherry Tree Way also has significant trees which helps to soften the streetscene.

At the junction with Gordon Avenue, the buildings face onto a triangular piece of green, again with dense tree cover, which makes this junction distinct. Orme Lodge, as one of the taller buildings in the conservation area, is prominent and gives strength to this corner. The Old Station, though much altered, provides an element of historical interest, also looking out on the mini Green.

Orme Lodge





Triangular Green Area Fronting The Old Station

Negative Features, Problems and Pressures

Negative Features, Problems & Pressures	Site Address	Description
Street Lamps	Intermittent locations throughout Conservation Area	Old Church Lane lamps
Traditional fingerpost sign	Top of Old Church Lane	This is
Bushes below attractive mature trees	Junction with Uxbridge Road	These
Bowl of the Water Fountain	Junction with Uxbridge Road, to the front of St. John's Church.	This is
Concrete barriers	The end of Rectory Lane, previously known as Colliers Lane, a public highway, now a dead end, with access to southwest corner of St. John's Churchyard.	This is the es
Unsafe shelter, graffiti and broken fences and paving.	Bernays Gardens	The shelter bench safe and frequ
Limited protection for locally listed developments	3, 4, and 5 Manor House Estate and Tudor Well Cover	The manor listed that a window
Limited protection for open space, trees and hedges	From Cherry Tree Way (on both sides of the road) south to Orme Lodge	The open Orme Lodge which
Unsafe listed gravestones	St. John's Churchyard	Within place object
Unlisted Landmark Buildings	Orme Lodge and The Old Station	These the his



Park shelter in Bernays Gardens

Description (Why negative? Scale? Design? Condition? Unauthorised work?)

Church Lane is relatively free of clutter in terms of signage/bollards etc. However, the streetlights are very old, not of a homogenous style and do not respect the historic character of the area.

are in a poor state of repair having lost its top finial.

are in poor condition and there is bare earth below the canopies.

is not well displayed or explained in any way. It also lacks much of its original fittings.

is blocked temporarily with concrete barriers to reduce the dumping of rubbish there, pending establishment of ownership of the area.

shelter in the gardens is unsafe and has been fenced off. Graffiti adorns many of the walls, windows are broken and the paving has lifted in many places. This does make the space feel less welcoming and will lead to less usage and probably more problems with vandalism due to lack of people entering the park.

majority of the buildings within the conservation area are listed and so any alterations require building consent. Non-residential properties or flats require planning permission for alterations which are considered 'material development'. However, at present some features, such as doors, windows and roofing materials, of locally listed developments have little protection.

open space, trees and hedges from Cherry Tree Way (on both sides of the road) south to Ormeau Avenue are key to the character of the area. Front gardens, where plenty of landscaping exists, and which add to the character of the conservation area are not protected from hard surfacing.

in the churchyard are some individually listed gravestones, which are unsafe, and have been included on the English Heritage Register of Buildings at Risk. Securing their repair is an important priority.

buildings have a strong architectural presence, form part of key views and are a key part of the historical development of the area. However, neither are listed.

OLD CHURCH LANE

Local Consultation

This document has been the subject of public consultation -views were sought from local residents, councillors, the Stanmore Society, members of the council's Conservation Area Advisory Committee, Harrow Heritage Trust and the Stanmore and Harrow Historical Society as well as national amenity groups and English Heritage. This document was sent to each resident, displayed at the Council and Stanmore Library as well as being on the Harrow Council website. It has been amended to reflect the views expressed by respondents to the consultation.

Please call the number below for a large print version of this document, or a summary of this document in your language.

Albanian	Nëqoftëse gjuha Angleze nuk është gjuha juaj e parë, dhe keni nevojë për përkthimin e informatave të përmbajtura në këtë dokumentë, ju lutemi kontaktoni numërin dhënë.
Arabic	إذا كانت الانجليزية ليست لغتك الأولى وتحتاج لترجمة معلومات هذه الوثيقة، الرجاء الاتصال على رقم
Bengali	যদি ইংরেজি আপনার মাতৃভাষা না হয় এবং আপনি যদি এই প্রচারপত্রের তথ্যগুলোর অনুবাদ পেতে চান তাহলে যে টেলিফোন নম্বর দেওয়া আছে সেখানে দয়া করে যোগাযোগ করুন।
Chinese	如果你主要說用的語言不是英語而需要將這份文件的內容翻譯成中文，請打註明的電話號碼提出這個要求。
Farsi	اگر انگلیسی زبان اول شما نیست و شما نیاز به ترجمه اطلاعات موجود در این مدرک را دارید، لطفاً با شماره داده شده تماس بگیرید
Gujarati	જો ઈંગ્લિશ તમારી પ્રથમ ભાષા ન હોય અને આ દસ્તાવેજમાં રહેલ માહિતીનો તરજૂમો (ટ્રાન્સલેશન) તમને જોઈતો હોય તો કૃપા કરી જણાવેલ નંબર ઉપર ફોન કરો
Hindi	यदि आपको अंग्रेज़ी समझ नहीं आती और आपको इस दस्तावेज़ में दी गई जानकारी का अनुवाद हिन्दी में चाहिए तो कृपया दिए गए नंबर पर फोन करें।
Panjabi	ਜੇ ਤੁਹਾਨੂੰ ਅੰਗਰੇਜ਼ੀ ਸਮਝ ਨਹੀਂ ਆਉਂਦੀ ਤੇ ਤੁਹਾਨੂੰ ਇਸ ਦਸਤਾਵੇਜ਼ ਵਿਚ ਦਿੱਤੀ ਗਈ ਜਾਣਕਾਰੀ ਦਾ ਤਰਜਮਾ ਪੰਜਾਬੀ ਵਿਚ ਚਾਹੀਦਾ ਹੈ ਤਾਂ ਕਿਰਪਾ ਕਰਕੇ ਦਿੱਤੇ ਗਏ ਨੰਬਰ ਤੇ ਫੋਨ ਕਰੋ।
Somali	Haddii Ingiriisku uusan ahayn afkaaga koowaad aadna u baahan taha turjumidda xog ku jirta dokumentigan fadlan la xiriir lambarka lagu siiyey.
Tamil	ஆங்கிலம் உங்கள் தாய்மொழியாக இல்லாதிருந்து இப்பத்திரத்திலிருக்கும் தகவலின் மொ உங்களுக்கு தேவைப்பட்டால் தயவுசெய்து தரப்பட்ட தொலைபேசி எண்ணில் தொடர்பு கொள்ளு.
Urdu	اگر انگریزی آپ کی مادری زبان نہیں ہے اور آپ کو اس دستاویز میں دی گئی معلومات کا اردو ترجمہ درکار ہے، تو براؤ کر دیئے گئے نمبر پر رابطہ کریں۔

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Other Publications

The Council produce the following supplementary Guidance leaflets that are relevant to the Old Church Lane Conservation Area

Conservation Areas: Residential Planning Guidelines
Listed Buildings: Planning Guidelines
London Borough of Harrow Conservation Areas
London Borough of Harrow Listed Buildings

Further information regarding the Statutory Background and general Council policies relating to conservation areas can be found in the Harrow Unitary Development Plan

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Urban Living
Planning Services,
Conservation Section

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OLD CHURCH LANE

Management Study

AREA 3



OLD CHURCH LANE

Conservation Area Appraisals provide an analysis of the character and appearance of the conservation area to identify those elements of the conservation area which should be protected as well as opportunities for change, improvement or enhancement. This management strategy uses this analysis to look forward and set out how the areas character will be preserved or enhanced. It sets out policies and controls to protect and preserve the area and actions to enhance it. Each section is linked to the relevant policy guidance, which provides the framework for the future management and enhancement of the conservation area. The following proposal statement provides a list of actions, related to those features identified as 'negative'.

Identified Negative Feature?	Site Address	Proposed Actions?
Street Lamps	Intermittent locations throughout Conservation Area	<ul style="list-style-type: none"> Their gradual replacement with more sympathetic designs would be welcomed.
Traditional fingerpost sign	Top of Old Church Lane	* Apply for grant aid for traditional fingerpost repairs.
Bushes below attractive mature trees	Junction with Uxbridge Road	* Encourage Highways Department to increase grass on the junction with Uxbridge Road, where at present there are woody shrubs.
Bowl of the Water Fountain	Junction with Uxbridge Road, to the front of St. John's Church	* Restore original fittings * Encourage Harrow Heritage Trust to erect an explanatory plaque * Possibly relocate nearer its original location * Future planning gain funds could be allocated towards restoration.
Concrete barriers	The end of Rectory Lane, previously known as Colliers Lane, a public highway, now a dead end, with access to southwest corner of St. John's Churchyard.	* Propose the removal of these barriers once ownership of the land is established by issuing a Section 215 notice. * Planning gain money from Stanmore Park is intended to improve the end of Rectory Lane.
Unsafe park shelter, graffiti and broken fences and paving.	Bernays Gardens	* Find new use for building * Allocating future planning money towards restoring Bernays Gardens, seek lottery funding and Council investment.

Enhancement Proposals

These refer to those features identified in the Conservation Area Appraisal as positive yet having limited protection. Proposals are put forward to retain and enhance them:

Identified Negative Feature?	Site Address	Proposed Actions?
Limited protection for locally listed developments	3, 4, and 5 Manor House Estate and Tudor Well Cover	* Propose as Listed Buildings * Article 4 on locally listed buildings to prevent loss of important architectural features * Any unauthorised alterations to be referred to Enforcement for investigation
Limited protection for open space, trees and hedges	From Cherry Tree Way (on both sides of the road) south to Orne Lodge	* Encourage introduction of tree protection orders on important trees/ groups of trees.
Bushes below attractive mature trees	Junction with Uxbridge Road	* Encourage Highways Department to increase grass on the junction with Uxbridge Road, where at present there are woody shrubs.
Unsafe listed gravestones	St. John's Churchyard	* Formulate Churchyard Action Plan in conjunction with the PCC - to assess the significance of the space and suggest areas for improvement * Planning gain monies from the Stanmore Park development have been secured for the repair of the gravestones which are 'at risk' but additional funds may be available for other monuments and any repairs to the War Memorial. * Urgent works or repairs notices to be placed on individually listed gravestones which are unsafe, and have been placed on the English Heritage Register of Buildings at Risk.
Unlisted Landmark Buildings	Orne Lodge and The Old Station	* Propose as listed/locally listed buildings * Propose Article 4 directives.

In addition, a further enhancement proposal is to ensure any new development compliments existing urban grain and settlement pattern.

Monitoring

1. Carry out a dated photo survey every four years.
2. Refer unauthorised developments noted to Enforcement.
3. Consult local amenity groups for thoughts on the Conservation Area every four years.

OLD CHURCH LANE

The following policies are considered to apply in this Conservation Area:

1. The Council will require that all new development respects the historic character and layout of the area.
2. There will be a presumption against the demolition of buildings within the conservation area.
3. Applications for development on existing areas of open land that contributes to the character of the conservation area will normally be refused.
4. To ensure that the character of the conservation area is both preserved and enhanced, proposals for development should:
 - a) Respect existing properties and areas of open space in terms of bulk, scale and siting.
 - b) Not impede significant views, diminish the gap between buildings or intrude into areas of open space.
 - c) Respect the existing layout and historical form of the townscape and street scene.
 - d) Respect and complement the existing building in terms of design, detailing, scale and materials in any proposals for extensions or alterations.
5. The Council will resist the removal of original design features such as windows and doors. Where replacement is necessary traditional materials should be used. Aluminium and UPVC replacement units will not be considered acceptable.
6. Alterations to buildings that result in a detrimental impact on the appearance of elevations that face a thoroughfare, including alterations to chimneys and rooflines, will be resisted.
7. The Council will resist the removal of grass verges.
8. The Council will encourage the retention and improvement of both public and private green spaces.
9. The Council will retain or, where necessary replace, street trees.
10. The Council will encourage the utility companies to install the minimum amount of new street furniture and to locate it sensitively.
11. Where within Council control, the retention or reinstatement of traditionally designed street furniture and materials, such as street lamps, will be required.
12. Where in Council control, new street furniture will be required to be well sited and designed. Redundant and unsightly street furniture will be removed where opportunities occur.
13. The retention of visually important walls which are characteristic of the area will be required.
14. Trees and groups of trees will be further protected by the creation of additional tree preservation orders where appropriate.
15. Development adversely affecting significant trees will be refused.
16. The council recognises the archaeological importance of the area, and where necessary will ensure that appropriate action or works such as an excavation or building recording can be carried out before developments commence.



Other Publications

The Council produce the following supplementary Guidance leaflets that are relevant to the Old Church Lane Conservation Area

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Contact:
Conservation Officer - 020 8736 6099
Asstt Conservation Officer - 020 8736 6101



Meeting: Strategic Planning Advisory Panel
Date: 14 March 2006
Subject: Conservation Area Appraisal and Management Strategy for Edgware High Street conservation area
Responsible Officer: Executive Director (Urban Living)
Contact Officer: Amy Burbidge/Tom Wooldridge
Portfolio Holder: Planning, Development and Housing
Key Decision: No
Status: Part I
Appendices:
1 Edgware High Street Conservation Area Appraisal and Management Strategy

Section 1: Summary

Decision Required

The Panel is invited to:

- (1) Consider and comment on the first draft of the Edgware High Street Conservation Area Appraisal and Management Strategy and subject thereto
- (2) Recommend that the Portfolio Holder approve the said draft for public consultation

Reason for report

The Planning (Listed Buildings and Conservation Areas) Act 1990 advises Local Planning Authorities to review their conservation areas and publish proposals for their preservation and enhancement and the appraisals and strategies within this report seek to fulfill that objective. In addition, Members agreed a programme of completing conservation area appraisals and management strategies and this report seeks to meet that programme as well as seeking to improve the Council's performance against the new Best value Performance Indicator (BVPI219) which assesses the number of conservation areas with up to date appraisals.

Benefits

The Council will be working towards its statutory requirements and towards improving its performance against BVPI 219 on conservation areas.

Cost of Proposals

Costs to be contained within the existing Planning and Development Services budget.

Risks

Not having specific proposals for individual conservation areas reduces opportunities for seeking external grant funding for projects and increases the likelihood of losing planning appeals

Implications if recommendations rejected

Delays to the programme leaving conservation areas without any guidance for longer and impacting on BVPI 219.

Section 2: Report

2.1 Brief History

- 2.1.1 The Edgware High Street Conservation Area Appraisal and Management Strategy is the first detailed appraisal and management strategy that has been produced for this conservation area since it was first designated in 1980. The appraisal and management strategy can be found in Appendix 1 along with a designation map of the conservation area. Please note that the appraisal and strategy are only in draft form at present, but will be converted into the in-house Council format prior to public consultation. The purpose of the appraisal is to provide a clear analysis of the architectural and historic character and appearance of the conservation area, which will help form the basis for making sustainable decisions about the future of the area. It includes information on the history, archaeology and development of the area and assesses its special character and appearance. It identifies important views and positive buildings, while providing a summary of the key problems, pressures and negative features that affect the area.
- 2.1.2 The appraisal is linked to the management strategy for the conservation area, which identifies opportunities for enhancement along with policies to protect the character of the area.
- 2.1.3 The appraisal is linked to the management strategy for the conservation area, which identifies opportunities for enhancement along with policies to protect the character of the area.
- 2.1.4 The appraisal and management strategy are set within the broader context of conservation area policy guidance for Harrow contained within

the Adopted Unitary Development Plan (UDP) (2004), the emerging Local Development Framework and the forthcoming Harrow Conservation Areas Supplementary Planning Document (HCA SPD). It is also set within national policy guidance provided by Planning Policy Guidance Note 15 and the 1990 Town and Country Planning Act (Listed Buildings and Conservation Areas). The appraisal and management strategy will be formally adopted by the Council and will be supplementary to the current Harrow UDP and the HCA SPD.

- 2.1.5 This report seeks to agree public consultation for the appraisal and management strategy. Government guidance in PPG15 (Planning and the Historic Environment) asks for wide consultation when formulating proposals for the preservation and enhancement of conservation areas, and English Heritage's recently published, "*Guidance on Conservation Area Appraisals*" encourages public consultation and involvement to ensure that the resulting documents have more weight within the planning framework.
- 2.1.6 The study will be distributed to local amenity groups, local Councillors, members of the Conservation Area Advisory Committee, English Heritage and the London Borough of Barnet, who are the adjoining local authority. There will be ongoing consultation within the Council itself, while local residents will be notified of the study and invited to make comments. There will be a consultation period of at least two months, which will be followed by a public meeting with interested parties to discuss the appraisal. Changes to the document following the consultation period will be reported back to the SPAP committee later this year in order to progress the document towards formal adoption by the Council.

2.2. Options Considered

- 2.2.1 This approach to adopting the appraisals and management strategies followed extensive consideration of the options for producing such documents, and their eventual status. Following the consideration of options at the SPAP meeting on 1st December 2005, Cabinet resolved on 15th December 2005 that non-SPD appraisals which would be linked to an overarching conservation area SPD would be the best approach. The production of the "Harrow Conservation Areas SPD" is dealt with as a separate item on the agenda. These appraisals follow that agreed structure and have been re-written to link them to the emerging overarching SPD, as well as the existing policy framework.

2.3 Consultation

- 2.3.1 This report seeks authorisation to commence public consultation on the draft study.

2.4 Financial Implications

- 2.4.1 The costs associated with the studies mainly relate to their initial drafting, which has already been undertaken within existing resources. There are

cost implications for the printing of draft studies, but making use of the Council's website should reduce the need to produce significant numbers of these documents. The final adopted study will be published on the website. We already charge a small fee for printed copies, which helps to recoup the costs of the initial printing. These amounts are therefore likely to be minimal and can be contained within the existing Planning and Development Services budget.

2.5 Legal Implications

2.5.1 The Edgware High Street Conservation Area Appraisal and Management Strategy, when finally adopted, will be a material consideration in the determination of development applications within its area.

2.6 Equalities Impact

None

2.7 Section 17 Crime and Disorder Act 1998 Considerations

None

Section 3: Supporting Information/ Background Documents

English Heritage "Guidance on Conservation Area Appraisals".

Edgware High Street Conservation Area Appraisal

Front Cover Foreword

Edgware High Street Conservation Area contains some of the oldest surviving buildings in Edgware, with timber framed buildings on the High Street dating from the 16th to 18th centuries and a mid-Victorian terrace on Whitchurch Lane. The area forms a large part of the remaining portion of the original village of Edgware centred on the old Roman road of Watling Street, before suburban growth and road widening from the late 19th century onwards considerably altered the area's appearance. Although originally designated in 1980, this is the first character appraisal and management strategy that has been produced for this conservation area.



99-101 High Street, with War Memorial in foreground



1-12 Whitchurch Lane

Introduction

The purpose of this appraisal is to provide a clear analysis of the architectural and historic character and appearance of the conservation area, which will help form the basis for making sustainable decisions about the future of the area. The appraisal is linked to the Management Strategy for the conservation area, which identifies opportunities for enhancement along with policies to protect the character of the area.

Planning Policy Context

This appraisal and management strategy are set within the broader context of conservation area policy guidance for Harrow contained within the Adopted Unitary Development Plan (2004), the emerging Local Development Framework and the forthcoming Harrow Conservation Areas Supplementary Planning Document. It is also set within national policy guidance provided by Planning Policy Guidance Note 15 and the 1990 Town and Country Planning Act (Listed Buildings and Conservation Areas).

It is important to note that no appraisal can be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply that it is of no interest.

Location

Edgware High Street Conservation Area is situated on the western side of the High Street and lies completely within the London Borough of Harrow. Following its initial designation in 1980, the conservation area incorporated 81 to 111 High Street (odds only) and since its extension in 1991 has included the shopping parade of 1-12 Whitchurch Lane (inclusive). The designation includes land at the rear of these properties as well as the pavements to the front and covers the two telephone kiosks and the War Memorial on the High Street.

Archaeology, History and Development of Edgware High Street

Present-day Edgware is largely a product of early 20th century suburban development, but its origins date back to at least the Roman occupation of Britain. The original settlement was focused along the High Street, part of a much longer road known by the Anglo-Saxons as Watling Street and more recently referred to as the Edgware Road. The road also marks the boundary between the ancient parishes of Edgware in the east and Little Stanmore in the west, with the conservation area lying solely on the western side.

The Edgware Road was one of the key thoroughfares constructed by the Romans to link London with St Albans and the north. Although Roman remains have not yet been found in Edgware itself, the road would have generated substantial traffic, trade and settlement. Nearby archaeological investigations have shown Roman impact at Brockley Hill, which is widely thought to be the site of the former Roman settlement of *Sulloniacae*. To the south of Edgware and to the east of the main road, remains of a late 3rd century A.D. house in Burnt Oak were discovered in 1971.

The name Edgware is of Saxon origin and is thought to have derived from “*Ecgi’s*” or “*Aeges*” weir or fishing pool”, in reference to the Edgware or Dean’s Brook that runs to the south of the main settlement. Despite no specific entry in the Domesday Book of 1086, it is likely that the medieval manor of Edgware was in existence by this time, possibly included as part of Kingsbury or Stanmore. The growth of Edgware during the medieval period is unclear, although the parish church was in existence by the mid-13th century, with the present day St Margaret’s Church on the eastern side of the High Street built a century or so later (and substantially remodelled in the 18th and 19th centuries).



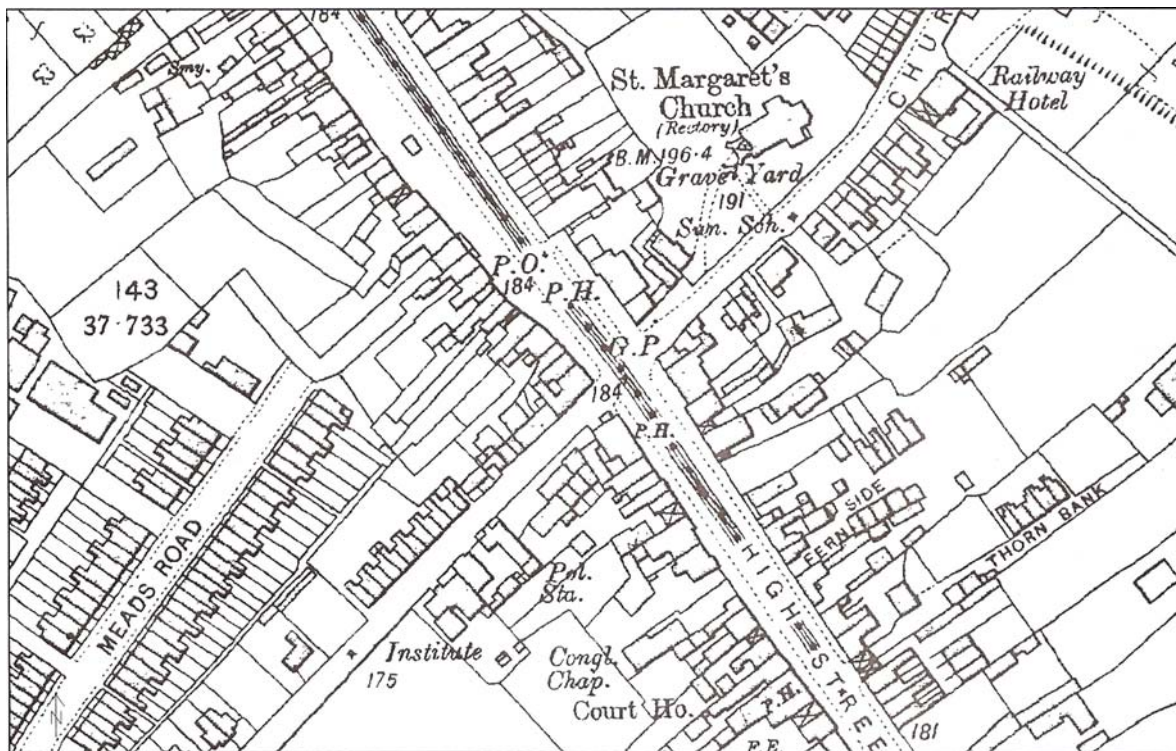
Milne’s Map of 1800, showing rural settlement clustered along the main Edgware Road

Up until the late 19th century, agriculture and the road dominated life in Edgware. The existence of a number of inns and blacksmiths along the High Street in numerous 18th and 19th century surveys underlines the continued importance of the main road as a key stopping point to and from London. The population increased gradually from 120 inhabitants in 1547, to 412 in the 1801 census. Edgware was a farming community, with a mixed land use for arable, pasture and forestry purposes. Regular markets and fairs were held in Edgware from the 1600s until the mid-1800s. The settlement remained clustered along the High Street until the late 19th century, consisting mainly of small, timber-framed buildings.

There were a number of narrow side roads that led off the High Street to isolated farms or properties, including Station Road (known as Church Lane until c.1930) and Whitchurch Lane. The latter road led along to St Lawrence Church in Little Stanmore, but little is known about this road closer to the junction with the High Street. One source describes it as “Poor Lane”, as the location for some of Edgware’s less well-off families. Edgware Police Station has also occupied a site on the southern side of Whitchurch Lane since 1865, although the present day station dates from 1932.

The dominance of the road in Edgware was challenged in the mid-19th century with the onset of the railways affecting long distance coach travel. However, the opening of a branch railway line from Finsbury Park to Edgware in 1867 (which closed to passengers in 1939 and goods in 1964) was not a strong enough factor on its own to result in the suburbanisation of Edgware. The settlement retained a

semi-rural and agricultural composition until the start of the 20th century, with a population of 868 inhabitants in the 1901 census. Despite this, Edgware was a relatively prosperous location and was beginning to attract professionals and businessmen keen to escape the confines of inner London. Speculative development began to encroach along some of Edgware's side roads, with a late Victorian shopping parade built on the northern side of Whitchurch Lane just one example of a growing settlement.



Ordnance Survey Map from 1913-1914, showing increasing suburban growth

The first three decades of the 20th century witnessed substantial change in Edgware, as the settlement became firmly established as part of suburban London. The opening of a tramline along the Edgware Road from Cricklewood to Canons Park in 1904 provided an additional link into central London. It also resulted in the partial demolition of a number of timber framed properties on the eastern side of the High Street to make way for the trams. The High Street was gradually modernised before and after the First World War, with road surfaces tarmaced, new shopping parades built along the eastern side and a granite stone war memorial erected in 1920.

The extension of an Underground line (later known as the Northern Line) from Hendon to Edgware in 1924 led to the construction a new station on the southern side of Station Road and opened up Edgware to substantial suburban development. By the early 1930s, a series of shops, cinemas and office buildings occupied the full length of Station Road and dramatically shifted the centre of gravity in Edgware away from the High Street and towards the Underground terminus. The High Street retained its retail orientation, with fishmongers, grocers, undertakers and clothes stores all listed in a 1935 brochure, but it was subsumed on all sides into an essentially 20th century suburb.

The rapid growth had further consequences for the eastern side of the High Street and the southern side of Whitchurch Lane, with buildings demolished as part of road widening schemes. One of Edgware's many public houses, The Masons Arms, was demolished and rebuilt on the southern corner of Whitchurch Lane and the High Street. The tram tracks were removed in the late 1930s and replaced with a trolleybus service. The trolleybuses themselves were replaced with diesel buses in 1962 as the Edgware Road assumed its now familiar association with motor vehicle traffic.

Following the Second World War, changes within Edgware have been more piecemeal, with the further loss of historic buildings along the High Street and Whitchurch Lane. Two of the most significant developments have been the construction of Lanson House in the late 1960s on northern side of Whitchurch Lane where it joins the High Street, and the 1960s demolition of The Boot public house on the corner opposite and its replacement with a modern shopping parade. Along with a number of other

alterations and constructions, these developments have had a considerable impact on the architectural and townscape character within the conservation area.

Character Analysis

Important Views

Given the relatively small and linear nature of the conservation area, the most important views are those which look along the frontages of the High Street and Whitchurch Lane. A key feature of this conservation area is the group value of its buildings, presenting attractive views from both inside and outside the area's boundaries. A number of these views are identified on Designations Map.

Activity and Uses

Whilst agricultural activities no longer exist, the conservation area continues to have a commercial and retail use that maintains a link with Edgware's past. A shopping brochure from 1935 showed that 81 High Street was trading as a fishmonger, while 97 High Street was operating as an undertakers firm called Stonebridge, reflecting what currently exists at these two addresses. 97 High Street, which currently houses a restaurant, has a long association with food and drink purposes. It was the location for the Sawyers Arms alehouse in the 19th century, before becoming a coffee house in the early 20th century. Residential uses continue to exist above the retail units on both streets, adding to the vitality of the area.

Architectural Character

The conservation area contains two distinct collections of buildings, with the timber-framed buildings on the High Street and the Victorian terrace along Whitchurch Lane. This section provides an overview of the main architectural details, although it is by no means exhaustive. Discussion of the shop fronts appears in a later section on townscape character.

The High Street

The High Street represents a remarkable survival of historic buildings, many of which are Grade II listed. The buildings vary in shape, size and age, and present a rustic character that is attractive and quite distinct from the appearance of surrounding properties. Despite the variations, the buildings share a number of common themes which enhance their value as a group. They are essentially rural cottages, constructed from brick, timber, rubble and tile. They are modest in scale and design and are no more than two-storeys in height throughout the range.



81-83 High Street (locally listed buildings)



85-89 High Street (grade II listed buildings)

Some of the current buildings on the High Street date back to the 16th century, such as No. 97, while others are more likely to be from the 18th century, such as Nos. 85-89. Every property however, has witnessed numerous additions and alterations in the past, which generally adds to the character of the area. The timber-framed structures are hidden behind colour washed brick or cement render in most cases, although No. 81 has a brick façade and hung tiles on the side. The Tudor-style timber framing to Nos. 99-101 is an attractive feature, but is a mid-20th century alteration. Nos. 91 and 93 suffered considerable fire damage in the mid 1990s and has been largely reconstructed.

The roofs are one of the defining elements of the buildings, with many built from lower king strut timber frames internally. Externally, the roofs consist of steep pitched slopes with hand made clay tiles. With the exception of No. 97, which has a front facing gable roof slope, the ridgelines run parallel to the road. The properties at Nos. 81-93 and Nos. 99 and 111 have simple gable ended roof slopes, while Nos. 95 and No. 101 have hipped roofs. At certain points where two properties meet, such as Nos. 89 and 91 and Nos. 95 and 97, the roof structure is unusual and complex. This is a reflection of how these properties were built at different stages and in different styles. The variety and quality of roof structures, along with the uneven height of the roofline, provides considerable visual interest which should be maintained from any intrusive alterations. The need to protect what remains is highlighted by the unfortunate loss over the past twenty to thirty years of every chimney stack along the length of the properties, which deprives the buildings of an important and attractive feature.

Like many other features, the windows on the front elevation of the buildings vary in size and style, with a mixture of old and new. The most frequently used design at first floor level is windows with a predominantly vertical emphasis, where narrow glazing bars divide the glass into a number of smaller sections. The openings are a mix of sash and casement. Bay windows exist, or have existed, at some properties, with the survival of a 19th century shop bay window at No. 97. The bay at No. 95 is a later 20th century addition, but it resembles the bay windows that once formed a part of Edgware Post Office at Nos. 91-93. The dormer windows at Nos. 87-89 at first glance appear to be out of place, but they are a well-established feature of these properties, dating back to at least the late 19th century.

1-12 Whitchurch Lane

The terrace along Whitchurch Lane is a modest, but valuable reminder of Victorian Edgware and is particularly attractive for the uniformity of the built form and the prevalence of original materials and details. The properties date from the late 19th century and are two-storeys high and divided into twelve shop units. The terrace is constructed from yellow common stock bricks, with a hipped tile roof and six identical chimneystacks. The front elevation contains four decorative brackets under the eaves. The windows are all original double hung sliding sashes.



1-3 Whitchurch Lane



10-12 Whitchurch Lane

Townscape and Streetscape Character

With so much of present-day Edgware a product of the 20th century, the conservation area retains a distinctive character with its collection of buildings that pre-date 1900. The Edgware Road still largely defines the townscape character of the conservation area and the importance of Edgware High Street as a busy through route for people travelling to and from London has been retained. However, the road that once made Edgware and other settlements nearer London prosperous through trade and travel is now contributing to the deterioration in the overall quality of the environment due to the noise and pollution from motor vehicles. The High Street no longer feels like the heart of Edgware, with the shift in emphasis east along Station Road to the Underground station. It feels on the periphery of Edgware town centre, both geographically and in terms of importance. The busy crossroads between the High Street and Station Road/Whitchurch Lane, which are cluttered with signage and other street furniture, accentuates this sense of displacement. The situation is exacerbated by the borough boundary that runs along the High Street between Barnet and Harrow, which results in the lack of a joined up approach to the area's maintenance.

The conservation area has two clearly identifiable areas with the buildings on the High Street and on Whitchurch Lane. On both streets, no one single property dominates in terms of its character or appearance. However, there is a high townscape value from the buildings as a collective whole and as a group they create a definitive sense of place and history.

The recessed building line of the properties on the High Street has remained largely unchanged from pre-suburban Edgware, with the hard landscape, open front area and absence of vegetation reflecting the past need for space to collect farm animals, horses, coaches and markets stalls. Today this space provides a good setting for the buildings, as well as creating a wide expanse of pavement to allow greater pedestrian movement through the area. However, this space is currently under utilised and lacks any special care or maintenance. The surfacing is unsympathetic, with the prevalence of concrete slabs and tarmac.



Typical cluttered streetscape character



Obtrusive shop front at 7-8 Whitchurch Lane (newsagent)

The enclosure in front of Nos. 87-89, is in part a reflection on the way such properties historically had small fenced areas to mark the front boundaries. However, the enclosure extends too far into the pavement area and, with its modern and high metal fence, obscures the building's frontage and creates an unwelcoming appearance. Further north, the wide pavement has been used for car parking spaces, which further clutters the openness of the area. The modern glass bus shelter adjacent to the reconstructed smithy has an unsympathetic appearance in the streetscape. In contrast to these obtrusive features, the war memorial, reconstructed smithy (No. 103 High Street) and the red telephone boxes provide well-defined and interesting features in the street scene. The war memorial is bold, simple and stark, while the classic Giles Gilbert Scott design of the phone boxes is clearly an asset, although they feel isolated at the far end of the conservation area, cut off by the side road and new building at No 109.

The shop fronts along the High Street are relatively wide and therefore quite prominent. The buildings have always had an attractive rustic appearance and it would be impossible and incorrect to impose a uniform standard of shop fronts on these properties. They have however, suffered from a number of modern alterations, with few original features remaining on some properties. The fascia boards, stall risers, pilasters and so on are a variety of sizes, styles and colours, and on the whole, do not complement the historic character of the buildings on which they are sited.

The parade on Whitchurch Lane has a larger degree of uniformity, with narrow and generally discreet frontages. The units share a common cornice line along the length of the front elevation and are still divided by original brick pilasters. The fascia boards are relatively narrow and, despite the variety of styles and colours, are relatively unobtrusive. However, the shop front of Nos. 7-8 has a particularly negative effect on the overall appearance of the parade, with the fascia board cutting across two units. This could have been avoided by copying the process used at Nos. 10-11, where the existing pilaster breaks up the fascia board. The pavement in front of the parade is relatively wide and uncluttered, but suffers from poor paving and dated and dilapidated street furniture. As with the High Street, this space is under utilised.

The spaces to the rear of the main buildings have probably always been relatively industrial and used as storage space for the businesses occupying the main buildings. The present space behind the buildings on both the High Street and Whitchurch Lane does little to enhance the character of the conservation area, cluttered with cars, junk and modern extensions. It is regrettable that numerous flat-roofed extensions to the rear of properties on the High Street have all but obscured the original timber framed buildings from view, while the original L-shape of the buildings on Whitchurch Lane has been lost by rear extensions.

The conservation area boundary is drawn quite tightly around the two sub-areas in order to preserve their special character and appearance. However, buildings and structures just outside the conservation area play an important part in influencing the overall townscape character. The piecemeal nature of new building constructions around Edgware High Street over the past fifty years has led to a range of building styles and sizes, which largely fail to relate not only to the buildings within the conservation area, but to each other. Examples of unsympathetic buildings are discussed in the Problems and Pressures table below.

There are a few buildings outside the conservation area that make a positive contribution the townscape character. On Whitchurch Lane, the locally listed Police Station is an imposing but appealing building, built in mock-Dutch style with modernist, angular details on an otherwise traditional form. On the southern corner of Whitchurch Lane and the High Street, the re-built Masons Arms pub makes a striking use of the corner site by its sheer size alone, with a wide and symmetrical frontage. To the south of the Masons Arms, the Grade II listed Nos. 65-67 High Street links directly in terms of age and style to the buildings further north, although they have been isolated from the main group.

Summary of the Key Problems and Pressures

Problems, pressures and negative features	Location	Description
Road traffic	Mainly High Street, but also affects Whitchurch Lane	The proximity to a major road creates a noisy and congested atmosphere and does encourage the full use or enjoyment of the spaces in front of the historic buildings
Shop fronts	Throughout the Conservation Area	A significant number of shop fronts are modern and unsympathetic to the character of the individual buildings and wider conservation area, with poor designs, oversized fascias and signage, and intrusive illumination. Particularly problematic examples include Nos. 7-8, 10-11 and 12 Whitchurch Lane and Nos. 83 to 95 High Street.
Pavement surfaces	Throughout the Conservation Area	Concrete slabs appear tired, cracked and worn, with patchy areas of tarmac and replacement slabs. Does not enhance the character of the conservation area.
Street clutter	Throughout the Conservation Area	Guard rails, street signage, electricity boxes, car parking, a bus shelter and a prevalence of bollards create a cluttered and obstructed streetscape, with no uniform approach to enhance the setting of the conservation area.
Inappropriate small scale alterations to buildings	Throughout the Conservation Area	Loss of original features such as timber windows or clay roof tiles and inappropriate replacements have a detrimental impact on the conservation area. Examples of poor alterations include the use of plastic windows at 81 High Street and modern awnings at 87-89 High Street.
Impact of modern developments outside conservation area	There are a number of poor buildings, such as the showroom at No. 30 Whitchurch Lane or the 1960s Boot Parade, but the most notable is	Situated on the northern corner of the High Street and Whitchurch Lane, Lanson House has a significant detrimental impact on the character of the conservation area. The building occupies a highly visible location in the street scene, but due to its poor design and proportions, has resulted in a clear break physically and historically between the two sub-areas of the conservation area. It dwarfs 1-12 Whitchurch Lane and meets awkwardly with

	Lanson House	the first timber framed building on the High Street.
Infill developments	Behind or beside plots throughout the Conservation Area.	Given that the conservation area sits within a town centre location, pressures for development are always likely to be greater than in residential areas. Development proposals for sites within or adjacent to the conservation area will have to be carefully designed so as not to detract from the character and appearance of the conservation area.
Changes of use	Throughout the Conservation Area	At present there is a satisfactory mix of use classes throughout the units, but there is always pressure for changes which could have a detrimental impact, such as an over dominance of takeaways.
Neutral features		
Modern and altered buildings	105, 109 and 111 High Street	The modern developments of 105 and 109 High Street are unremarkable architecturally, but have a neutral impact on the conservation area, due to their restrained height and bulk and use of mock timber planted gables. No. 111 has been significantly altered but retains some historic character. The important location of these three buildings on the northern edge of the conservation area and their proximity to listed buildings, means that future alterations and developments must be sensitively handled.

Edgware High Street Conservation Area Management Strategy

Purpose of the Strategy

The preceding Conservation Area Appraisal provides an analysis of the character and appearance of the conservation area to identify what makes it special. It also sets out problems and pressures that are affecting the area. This Management Strategy develops these issues looking at how best to protect the special character, through specific policies and controls. It also sets out opportunities for change, improvement or enhancement. Each section of the strategy is linked to the relevant policy guidance, which provides the framework for the future management and enhancement of the conservation area.

Enhancement Opportunities

This section sets out opportunities to enhance the area through resolving acknowledged problems as identified in the appraisal.

Identified negative feature	Location	Proposed actions
General rundown and cluttered appearance of parts of the conservation area, due to impact of traffic and streetscape alterations	Throughout the conservation area	<ol style="list-style-type: none"> 1. Conservation Team to undertake a street audit in liaison with the Council's Highways Department to identify ways of reducing or modifying street furniture. 2. Conservation Team to undertake a detailed survey of the shop fronts throughout the conservation area. 3. Develop townscape/streetscape improvement plan using information from the street audit and shop front survey. This could include looking at more appropriate and consistent lighting columns and the planting of trees to improve noise problems. 4. Explore potential links with the Canons Park Restoration Project (the High Street once formed one of the access routes into the original 18th century estate). 5. Explore potential links with the London Borough of Barnet regarding wider improvements to the streetscape on both sides of the road. 6. Explore potential for funding for townscape/streetscape improvements through a number of sources including: <ul style="list-style-type: none"> • English Heritage's Heritage Economic Regeneration Scheme • Heritage Lottery Fund's Townscape Heritage Initiative • Planning gain monies obtain through Section 106 agreements • Other sections of Harrow Council, such as the New Harrow Project or the Highways Department
Pavement surfaces	Throughout the conservation area	<ul style="list-style-type: none"> • Liaise with Council's Highways Department to identify opportunities to improve the street surfaces as and when repair and replacement works take place. A uniform design approach should be followed, using appropriate paving materials.
Inappropriate small scale alterations to buildings	Throughout the conservation area	<ul style="list-style-type: none"> • Inappropriate small-scale alterations are often carried out because of a lack of awareness amongst owners and occupiers as to what requires planning permission. A leaflet to inform all owners and occupiers within the conservation area of the planning constraints should be produced and given to each property owner/occupier.

Protective Measures

A number of measures and policies are set out below to safeguard the special character of the area:

Requirements for planning permission and listed building consent

The study has identified that small-scale alterations to buildings and replacement shop fronts have had a detrimental impact on the character of the conservation area. The above table identifies an opportunity to inform owners and occupiers of properties of the type of works that will require planning permission and listed building consent. The following information will be developed into a guidance leaflet:

Generally, many minor building works such as alterations and small extensions do not require planning permission as they are classed as permitted development under the Town and Country Planning (General Permitted Development) Order 1995. However, as the buildings in the conservation area are flats and commercial, they are not covered by the Order and so have no permitted development right beyond those relating to the installation of satellite dishes. Planning permission will therefore be required for development that results in a “material alteration” to the external appearance of the building (section 55 of the Town and Country Planning Act 1990). The control over flats and commercial premises applies nationwide and not just in conservation areas.

Harrow Council, as the local planning authority, can already control works in Edgware High Street Conservation Area that are considered to constitute material alterations. However, the designation of a conservation area and the analysis of its special qualities provide an opportunity to formally define what is considered to be a “material alteration” in terms of development. The material alterations that will require planning permission include:

- The alteration of windows and doors
- The alteration of shop fronts
- The re-covering of a roof in a different material
- The extension of, or alteration to, the roof of a building (including roof lights and dormer windows)
- The cladding of exterior walls in stone, artificial stone, timber, plastic, tiles or other materials

In addition to planning permission, listed building consent will also be required for any internal or external works to a listed structure that affects its special architectural or historic character.

Requirements for archaeological investigations

Due to the age of the settlement, Edgware High Street has significant archaeological importance. This is recognised by the inclusion of the area in an Archaeological Priority Area (APA) known as Edgware Village (see Designations Map). The APA applies to Edgware High Street from Grosvenor House in the south to No. 111 in the north, incorporating Lanson House but not 1-12 Whitchurch Lane. The boundary contains long and narrow plots of land that extend rearwards from the main road. The main archaeological concerns for this area centre on the Roman road and the existence of a mediaeval settlement which spanned both sides of the road

The APA designation does not only apply to below ground deposits but to the fabric of standing buildings. Any alterations or major repairs to these buildings that involves removal or exposure of their historic fabric should be recorded archaeologically. English Heritage may require archaeological evaluation when considering applications for redevelopment. To date, the area has not been had extensive archaeological investigation, so finds have been limited. An excavation at 105-109 High Street in 1997 revealed medieval tenement features.

Pressure for non-shop uses

The study also identified the potential pressure of changes of use to the existing commercial units within the conservation area. The Harrow Unitary Development Plan identifies the High Street and Whitchurch Lane as Secondary Retail Frontage, and as such, policy EM17 is relevant in relation to change of use. The policy states that non-retail uses (i.e. uses other than Class A1) should not exceed 50% in the street frontage. This policy is applied in all secondary frontage areas, irrespective of their conservation area status. It is worth noting that there are units outside the conservation area, such as Lanson House and Handel Parade, which are included within the designated secondary frontage area.

The most recent survey (June 2005) for the entire designated area showed that approximately 37% of all units were operating as non-retail units. This balance will need to be monitored to ensure that this percentage does not increase too much.

Relevant policies

A number of detailed policies are considered to apply in this conservation area and are listed below. These policies flow from the Unitary Development Plan and the emerging Harrow Conservation Area Supplementary Planning Document

Policy 1:

Harrow Council will seek to ensure that all new development respects the character and layout of the area.

Policy 2:

There will be a presumption against the demolition of buildings within the conservation area that make a positive contribution to its character.

Policy 3:

To ensure that the character of the conservation area is both preserved and enhanced, proposals for development should:

- (a) Respect existing properties and areas of open space in terms on bulk, scale and siting.
- (b) Not impede significant views (as defined on the Designation Map), diminish the gap between buildings or intrude into areas of open space
- (c) Respect the existing layout and historical form of the townscape and street scene
- (d) Respect and complement the existing buildings in terms of design, detailing, scale and materials in any proposals for extensions or alterations.

Policy 4:

The retention or reinstatement of original design features such as brickwork details, tiles windows and doors will be encouraged. Where necessary, the Council will require the use of replica features in traditional materials for replacement and new works. Inappropriate materials, such as aluminium and uPVC, will not normally be considered acceptable.

Policy 5:

The re-roofing of properties in inappropriate materials will be resisted and the retention/reinstatement of traditional materials will be encouraged.

Policy 6:

The Council will resist the installation of inappropriate shop front designs, in particular the introduction of large fascias and illuminated signage boards, and will encourage the reinstatement of traditional shop fronts.

Policy 7:

The preservation and enhancement of the streetscape will be encouraged and enacted through wider Council initiatives and external sources of funding and support.

Policy 8:

Where in Council control, the retention or reinstatement of traditionally designed street furniture and materials, such as street lamps, will be required. New street furniture will be required to be well sited and designed. Redundant and unsightly street furniture will be removed where opportunities exist.

Policy 9:

The Council will encourage statutory undertakers to remove excessive and obtrusive signage, bollards and railings, and to improve the design of essential features.

Policy 10:

In both Council and privately controlled areas, the use of appropriate paving, with the aim of creating an uncluttered streetscape, will be required.

Policy 11:

The Council recognises the archaeological importance of the area and will ensure that where development proposals entail ground disturbance, a proper archaeological evaluation of the site is carried out, and that the implementation of appropriate archaeological works is conducted in accordance with an approved scheme, prior to the commencement of development.

Policy 12:

Proposals for telecommunications equipment which detrimentally affect the character and appearance of the conservation area will be refused.



Meeting: Strategic Planning Advisory Panel
Date: 14 March 2006
Subject: Conservation Area Appraisal and Management Strategy for Grimsdyke Estate and Brookshill Drive conservation area
Responsible Officer: Executive Director (Urban Living)
Contact Officer: Amy Burbidge/Tom Wooldridge
Portfolio Holder: Planning, Development and Housing
Key Decision: No
Status: Part I
Appendices:
1 Grimsdyke Estate and Brookshill Drive Conservation Area Appraisal and Management Strategy

Section 1: Summary

Decision Required

The Panel is invited to :

- (1) Consider and comment on the first draft of the Grimsdyke Estate and Brookshill Drive Conservation Area Appraisal and Management Strategy and subject thereto;
- (2) Recommend that the Portfolio Holder approve the said draft for public consultation

Reason for report

The Planning (Listed Buildings and Conservation Areas) Act 1990 advises Local Planning Authorities to review their conservation areas and publish proposals for their preservation and enhancement and the appraisals and strategies within this report seek to fulfill that objective. In addition, Members agreed a programme of completing conservation area appraisals and management strategies and this report seeks to meet that programme as well as seeking to improve the Council's performance against the new Best value Performance Indicator (BVPI219) which assesses the number of conservation areas with up to date appraisals.

Benefits

The Council will be working towards its statutory requirements and towards improving its performance against BVPI 219 on conservation areas.

Cost of Proposals

Costs to be contained within existing budgets.

Risks

Not having specific proposals for individual conservation areas reduces opportunities for seeking external grant funding for projects and increases the likelihood of losing planning appeals

Implications if recommendations rejected

Delays to the programme leaving conservation areas without any guidance for longer and impacting on BVPI 219.

Section 2: Report

2.1 Brief History

- 2.1.1 The Grimsdyke Estate and Brookshill Drive Conservation Area Appraisal and Management Strategy is the first detailed appraisal and management strategy that has been produced for this conservation area since it was first designated in 1978. Initially the area just included Brookshill Drive but it was extended to include Grimsdyke Estate in 1997. This is first draft of this Area Appraisal and Management Strategy is included with a view to offering the area further preservation and enhancement, and to outline the area's central characteristics, which deem it a valuable resource. The appraisal and management strategy can be found in Appendix 1 along with a designation map of the conservation area. Please note that the appraisal and strategy are only in draft form at present, but will be converted into the in-house Council format prior to public consultation.
- 2.1.2 The draft study is separated into two character areas – that of Grimsdyke Estate and that of Brookshill Drive. The study is also split into two parts: the first being the Appraisal in which information on the history, archaeology, the development of the area and identification of its special character and appearance is outlined for each; and secondly the Management Strategy which identifies areas where there is opportunity for enhancement.
- 2.1.3 The Management Strategy also sets out policies for the area's protection and as such identifies potential boundary changes to include Article 4 Directions, which would restrict permitted development rights in respect of: hardsurfacing to drives, and alterations to both dwelling house elevations and roofs. These are outlined in the draft study, which is attached as Appendix 1.
- 2.1.4 The appraisal and management strategy are set within the broader context of conservation area policy guidance for Harrow contained within

- the Adopted Unitary Development Plan (UDP) (2004), the emerging Local Development Framework and the forthcoming Harrow Conservation Areas Supplementary Planning Document (HCA SPD). It is also set within national policy guidance provided by Planning Policy Guidance Note 15 and the 1990 Town and Country Planning Act (Listed Buildings and Conservation Areas). The intention is that the appraisal and management strategy will in time be formally adopted by the Council and will be supplementary to the current Harrow UDP and the HCA SPD.
- 2.1.5 This report seeks to agree public consultation for the Appraisal and Management Strategy, and seek feedback on the idea of alterations to boundaries and the introduction of an Article 4 Direction to the area. Government guidance in PPG15 (Planning and the Historic Environment) asks for wide consultation when formulating proposals for the preservation and enhancement of conservation areas, and English Heritage's recently published, "*Guidance on Conservation Area Appraisals*" encourages public consultation and involvement to ensure that the resulting documents have more weight within the planning framework.
- 2.1.6 The study will be distributed to local amenity groups, Councillors, members of Conservation Areas Advisory Committee, English Heritage, and will be posted on the Council's web site. The adjoining Boroughs will be notified and asked to respond, as well as ongoing consultation within the Council itself. Residents will be notified and their comments invited upon the study. There will be a period of consultation of at least two months and following this a meeting with interested parties will take place in order to discuss the appraisal. Changes to the document following consultation will be made and reported back to the SPAP committee later this year in order to progress the document towards formal adoption by the Council.
- 2.1.7 The draft is attached as appendix 1

2.2. Options Considered

- 2.2.1 This approach to adopting the appraisals and management strategies followed extensive consideration of the options for producing such documents, and their eventual status. Following the consideration of options at the SPAP meeting on 1st December 2005, Cabinet resolved on 15th December 2005 that non-SPD appraisals which would be linked to an overarching conservation area SPD would be the best approach. The production of the "Harrow Conservation Areas SPD" is dealt with as a separate item on the agenda. These appraisals follow that agreed structure and have been re-written to link them to the emerging overarching SPD, as well as the existing policy framework.

2.3 Consultation

- 2.3.1 This report seeks authorisation to commence public consultation on the draft study.

2.4 Financial Implications

2.4.1 The costs associated with the studies mainly relate to their initial drafting, which has already been undertaken within existing resources. There are cost implications for the printing of draft studies, but making use of the Council's website should reduce the need to produce significant numbers of these documents. The final adopted study will be published on the website. We already charge a small fee for printed copies, which helps to recoup the costs of the initial printing. These amounts are therefore likely to be minimal and can be contained within existing budgets.

2.5 Legal Implications

2.5.1 The Grimsdyke Estate and Brookshill Drive Conservation Area Appraisal and Management Strategy, when finally adopted, will be a material consideration in the determination of development applications within its area.

2.6 Equalities Impact

None

2.7 Section 17 Crime and Disorder Act 1998 Considerations

None

Section 3: Supporting Information/ Background Documents

English Heritage "Guidance on Conservation Area Appraisals".

Brookshill Drive and Grimsdyke Conservation Area

The Brookshill Drive and Grimsdyke Conservation Area was designated in 1978 with a view to preserving and enhancing the area's semi-rural character and its integral historic qualities. Much of the area's character has developed from the layout of vernacular agricultural buildings and Tudor style estate properties. The essence of the area is also derived from open landscapes, which provide long views out over Harrow and as such help to create a popular outdoor retreat, easily accessible from London.

The conservation area is made up of two distinct character areas – Grimsdyke Estate and Brookshill Drive. However, the two are inherently liked by a setting of natural beauty, a similar countryside feel, and limited modern development. They are historically divided by Old Redding, which today passes through the two character areas linking Oxhey Lane with Brookshill High Road.

Map 1. Showing Brookshill Drive and Grimsdyke Conservation Area Character Areas

The purpose of this appraisal is to provide a clear analysis of the architectural importance, character and appearance of the area, which will help form the basis for making sustainable decisions about the future of the area. The appraisal is linked to the Management Strategy for the conservation area, which identifies opportunities for enhancement along with policies to protect the area's character. Due to the geographical and characteristic differences of each area, for the purpose of this document, the Brookshill Drive and Grimsdyke Estate areas will be looked at in two separate character areas as shown on the map above.

Planning Policy Context

This appraisal and management strategy are set within the broader context of conservation area policy guidance for Harrow contained within the Harrow UDP, the emerging LDF and the forthcoming Harrow Conservation Areas Supplementary Planning Document. It is also set within national policy guidance provided by – PPG15 and the 1990 Town and Country Planning Act. It is important to note that no appraisal can be completely comprehensive and that the omission of a particular building, feature or open space should not be taken to imply that it is of no interest.

Character Analysis Of The Conservation Area

The Brookshill Drive and Grimsdyke Conservation Area lies within a diagonally shaped boundary. The northern area of Grimsdyke is sandwiched between Harrow Weald Common land and the southern area is largely bounded by fields and a small portion, to the south-west, is bounded by 20th century development.

Grimsdyke Estate

The key characteristics which help to form the Grimsdyke Estate area are: the planned form of the estate's integral buildings; the relationship and architectural qualities of these; and the intimate character derived from the lush landscaping and neighbouring woodland.

Grimsdyke Estate backs onto open fields and is surrounded by woodland. A secluded atmosphere within dense landscaped and wooded environs attracts many visitors. Visitors are guided through undulating pathways, which curve throughout Harrow Weald Common's forest floor, some of which deliberately follow the linear earthwork, Grim's Ditch. This Scheduled Ancient Monument, known as *Grim's Ditch* or *Grim's Dyke* bounds the north eastern part of the Grimsdyke Estate area, framing this section of the conservation area.

Set in extensive grounds, the Grimsdyke Estate takes its name from the ancient earthwork and was developed in the late 19th century. It has suffered little change with very few new developments, which has helped the continuation of an intimate and hidden atmosphere. Tree clearings and spaces between clusters of estate buildings provide surprising glimpses of views out over Harrow, which offer a pleasant contrast to the feeling of enclosure. Narrow winding tarmac roads create routes between occasional dwellings, most of which were built to serve the grand estate house, which is now a hotel. The hotel is popular with visitors interested in Gilbert and Sullivan, and for special days such as wedding fairs.

South Lodge abuts Old Redding and marks the estate entrance; through an elaborately decorated cast iron gate with brick piers framing either side, this is suggestive of the intended grandeur when the estate was first laid out. The single road leading to the principal house is famously lined with rhododendrons, which create a tunnelling effect. The estate road curves up to a fork, giving way to a road leading to Grimsdyke House and another, which leads to a cluster of ancillary buildings. The planned lay out of estate buildings is important to the character of the area and as such those buildings, which are historically part of the original estate plan, are considered to be curtilage-listed as shown on the map below. The integral estate buildings are all built in a Tudor style, although these are subservient in scale and detail to the main house.

Map 2. Listed Buildings, Locally Listed Buildings and those considered as Curtilage-Listed Buildings
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Brookshill Drive

The key characteristics of the Brookshill Drive character area are: the rural vernacular, agricultural buildings and their context within a farmyard layout, the spaces between these, as well as the feeling of openness and the area's semi-rural atmosphere.



Surrounding Views

Situated atop a 400ft contour, the Brookshill Drive area is characterised by surrounding fields and woodland. The land lies to the south and east of Harrow Weald Common. *Weald* meaning wood (Saxon) indicates the nature of the Common, which was thickly treed. The immediate area offers clear views, looking south over Harrow and west towards London. Pleasant vistas are created in the spaces between clusters of agricultural buildings or through archways built into the vernacular architecture. Copse Farm can be reached by a single track, leading south from Old Redding. The road was originally a field boundary and today narrows and turns corners to provide groups of viewpoints and glimpses of barns and cottages. The single road is rough and potholed, and provides a thoroughfare between two fields bounded by timber fencing on either side. Grass verges covered in brambles furnish a particularly rural feel.

Map 3. Area Views and Vistas

There are changing levels of topography throughout the area, each level providing its own interesting aspect. The land falls away on approach to the farm providing uninterrupted views. The limited housing within the Brookshill Drive area importantly helps to protect this sense of openness.

The area's historic architectural character is largely derived from vernacular agricultural buildings and domestic Victorian dwellings within a farmyard context. There are two 20th century buildings incorporated within the conservation area, which are noticeably modern in comparison, and are therefore considered to be of neutral character.

Brookshill Drive marks the original field boundary to the south, as does the hedgerow of 4 Brookshill Cottages and the northern part of The Hollies' garden wall. The Hollies'

garden wall, in part, forms the western boundary of Portman Hall. The red brick wall, which is approximately 2-2.5 metres in height, includes an interestingly angled gothic style gateway with stone surround and a panelled wooden door. Research indicates that the wall formed part of the garden to 'Brookshill', a large, early Victorian house built by Thomas Blackwell, which was located on the site of Portman Hall, and as such this stretch is included within the conservation area for historic interest.

History and Development - Brookshill Drive area

The conservation area lies on land historically belonging to the Lord of the Manor. Those with farming rights were able to lease acres from his estate. From the 16th century onwards, Weald woodlands were heavily coppiced by Sir Edward North (the Lord at this time) for fuel and timber. Areas of full-scale clearance also took place from the 17th century in order to provide land on which to graze livestock. The area began to develop from woodland into a more arable and livestock economy as a result. Copse Farm, originally Weald Copse Farm, dates from the 17th century, and was developed as a result of cleared coppiced woodland, hence its name.

The farm at Brookshill, which sat next to Copse Farm, developed later during the 19th century when farming began to intensify within the area. A number of the buildings sited in this location were built from local resources. Clays can be found in the north of the area and were used in the making of bricks from the 17th century onwards and as such the site is also historically linked to brick making. The owners of Brookshill were also in possession of Brick Kilns, which were sited to the north of Copse Farm, and were initially built and run by the Bodimeade family in the 17th century, but taken over and developed by the Blackwell family during later 18th and 19th centuries.

During the Blackwell's ownership, both father and son, Samuel and Charles, made an impact on the landscape with new architecture. A collection of small semi-detached cottages were built for brick factory workers in the early 19th century, which became known collectively as the 'City' and was to refer to all cottages on both sides of Old Redding, formally Wealdwood Road. By 1831 there were fourteen cottages inhabited by 120 people, however by the mid 1960s, the majority of the City Cottages had been demolished, leaving only numbers 1&2, 3&4, 8,9&10 and the City Cottage on the south side of Old Redding. Numbers 1&2 and 8,9&10 have since been demolished and 3&4 have amalgamated into one house. Charles Blackwell later built a number of decorative buildings, including Farm Cottage, Dairy Cottage, and Bridle Cottages to surround Copse Farm in c1890, all of which remain.

Old photograph of the City

The neighbouring farms tended to be linked by a common owner, and leased as separate concerns, and as such did not amalgamate fully until 1939, when they were taken over and run by Suzanne's Riding Stables. A number of structures were built at this time to enable the schooling of horses and to provide additional stabling and tack facilities. Some of the buildings are large and industrial in style for indoor schooling. As

recent agricultural buildings, they are characteristic to the area, however as they detract from the historic layout there is opportunity for enhancement here.

The farms were run as riding stables and livery until they recently shut down and have since been unoccupied. Many of these buildings have become ramshackle and have fallen into disrepair whilst awaiting an appropriate new use.

The Architectural Character Of Brookshill Drive and Copse Farm

The historically and architecturally significant buildings relate directly to the agricultural industry. Many of these are either locally or statutorily listed as shown on the previous map. Bridle Cottages were originally built as two cottages to serve Copse Farm, and are now one house and grade II listed. Copse Farmhouse and Copse Farm Barn (and adjoining stables) are both locally listed and are the oldest buildings within the conservation area. Dairy Cottage, Farm Cottage and the adjoining and surrounding stables are locally listed as a group. The spaces created between the buildings are as important as the buildings themselves and as such the group value is significant.

Built to house farm labourers and brick kiln workers, the buildings have a visual and social relationship with the farmsteads. The courtyard and horseshoe shape layout of the buildings are integral to the area. The clusters of well-constructed vernacular buildings are similar in scale, style and materials, which gives the area a cohesive character. The detailing is characteristic of Victorian domestic architecture, particularly in terms of the chimney-stacks and barge-boarding. Small paned windows, pitched tiled roofs and timber doors are also typical features.



Brookshill Farm Buildings

On entering the farm from Old Redding, the road slowly meanders round to reveal four two-storey semi-detached late 19th century cottages, **Brookshill Cottages**. The first two houses have been rendered white giving them quite a different appearance on first glance to that of the neighbouring plain brick. However, much of the remaining detailing is very similar. The red brick houses are in an Arts and Crafts style with brick decorative banding, and brick edge detailing surrounding windows and doors. Roofscape glimpses of pitched roofs, interestingly hip-bevelled features on gabled elevations and tall chimney-stacks can be seen throughout the area. Many of the facades are concealed behind high hedgerows, which help to provide an intimate character.



The roofscape of Brookshill Drive

Brookshill Cottages are situated opposite **Copse Farmhouse**. The building has developed from early 18th century origins and was re-faced in brick during the 19th century and given Victorian domestic detailing at this time. It is a key building within the conservation area. It was designed as the principal house within the farmstead, facing in towards the courtyard and as such any future development of the site should respect this historic detail and be subservient in scale and detailing.



Copse Farmhouse

The farmyard also contains **Copse Farm Barn**, which is an 18th century three bay timber-framed barn, with queen posts and strutted tie beam. Its function was originally one of storing and threshing grain. The grain was threshed in the central bay with the use of wooden flails, which would eliminate unwanted chaff. The doors at either side of the barn could be opened to create a through draft to sweep any remaining chaff away. Like other threshing barns of this kind, Copse Farm Barn is positioned in the direction of the prevailing wind and as such the building faces a south-westerly direction and is adjacent to the road. The barn is unoccupied and is falling into poor repair. Any new uses should respect the agricultural usage of the building and therefore limit any intervention which may endanger its agricultural form or open space within.



Copse Farm Barn

Both the Farmhouse and Copse Farm Barn are set within a grouping of agricultural buildings, which began as farmyard spaces, and then were developed in response to the needs of the industry. Although the additional 20th century buildings and lean-to structures are of no particular architectural merit, their ramshackle appearance does add to the area's character. Any demolition or infilling of the site would disrupt the harmony and relationship between buildings and therefore should not be permitted unless special circumstances arise and can be appropriately justified.

Aspects of the farmyard at Brookshill can be seen as the road turns the corner. Brookshill Farm and Weald Copse Farm were historically both very small and run by tenant farmers. A small number of buildings are incorporated within each farm layout and have remained virtually unchanged since they were built. Those at Brookshill have been designed in a horseshoe shape, which is a common feature of farmsteads throughout the UK. The surrounding land is of great scenic importance and provides the farmstead with a rural context and as such the open character of the area is a treasured feature. Vistas are created through archways within the stable architecture, and via gaps in the formation of buildings. Wide views are provided over Harrow as the land falls away, and long views can be seen over the stable roofs at Brookshill.

Brookshill Farm includes the late 19th century, **Dairy Cottage and Farm Cottage**. The semi-detached dwelling was built in a Victorian rural vernacular style, which complements the smaller Bridle Cottages sited opposite and dates from a similar period, and was built by the same family. Dairy Cottage sits on the corner of the farmstead and as such its significant location and locally historic value makes it a fundamental part of the conservation area.

Samuel John Blackwell built **Bridle Cottages** in 1890. Constructed from Blackwell Kiln brick, the cottages were built by local bricklayers apprentices, as a testing ground for their techniques. Therefore, unusual examples of tuck pointing, face bedded bricks and alternate bands of yellow and red stock brick can be seen to decorate. The use of decorative and coloured tiles has also been incorporated into the roof design.



Bridle Cottages

The properties, which do not relate to the farms, tend to be small-scale 20th century residential buildings. These are laid out in a linear pattern on either side of Brookshill Drive and as such significantly differ in layout. Although these are sited in a more urban formation, the architectural qualities of the buildings tend to reinforce the semi-rural nature of the area. Although no uniform architecture exists, they are largely of an Arts and Crafts style and thus helps to define the area's character. The dwellings tend to be one and a half to two-storeys in height, with simple angles, steep pitched roofs and brick edging.

There are nine 20th century buildings on Brookshill Drive, the earliest of which were built during the 1930's including, Four Winds, Eastcliff and View. Red Corners, Brookslee, Newlands and Weald are all later post war infill development. Only The Hollies and Dukes are incorporated within the conservation area, and are included because they replace Liberty Hall, a former Victorian building built by the Blackwell family and demolished in the 1980s. Although this infill development is of no greater architectural merit than the remaining 20th century development on Brookshill Drive, these are included because they were built after the conservation area boundary was decided, and as such are to be considered as neutral in terms of character.

Map 4. Map showing Building Dates

Due to the conservation area's semi-rural nature, the remaining houses are spread out. **The City Cottages** link the northern part of the conservation area with the southern part: The City sits to the south of Old Redding, and the once semi-detached numbers 3&4 sit almost diagonally opposite to the north of Old Redding.

Number 3&4 are set back from Old Redding within extensive mature gardens that contribute to the semi-rural character of the conservation area. 'T' shaped, with a moulded brick stringcourse, decorative bargeboards and large prominent chimneystacks to the front and east elevations, these are constructed in red brick, with a timber framed pitched roof and covered with clay tiles. There is pedestrian access to the front of the properties through the woodland trail, and as such a new vehicular access from Grimsdyke Estate Road was granted planning permission in 1986 and is neatly tucked away behind South Lodge, helping to preserve the area's countryside character.

The Case Is Altered Public House was originally a cottage and sits on Old Redding. It is a simple vernacular building, which is one of three Public Houses within the West Middlesex area that share the same obscure name. The pub originally catered for the rural population and the City brick workers, but now caters for the many walkers and day-trippers to this part of Harrow. Although many theories exist over the name, it is thought this could be a corruption of the Spanish term *casa alta*, meaning the high house or *Casa del Saltar*, the dancing house. The ground falls away from the garden at the property's rear, giving way to fabulous views out over Harrow.



The Case Is Altered Public House

Boundary Treatment and Front Gardens

Central to the character of the conservation area, the farmyards provide a semi-rural essence and countryside feel. The ground covering of each courtyard is a mixture of semi-hard and soft landscaping, with lush field boundaries.

Some of the 20th century properties on Brookshill Drive have hardstanding driveways, which are not only too harsh for the semi-rural location but are also detrimental to the built fabric and help cause erosion of the brick, and as such should be avoided. Gravel is a good alternative and allows water to percolate freely through the ground rather than being absorbed into the built fabric. Therefore, ideally hard surfaces would be replaced with either soft landscaping or gravel drives, which is more fitting to the character of the area and allows the natural materials to breathe appropriately.

Many houses are fronted by mature hedgerows and bounded by gates. These tend to be 5 bar timber gates, the natural material and design of which preserves the character of the area.

Activity and Uses

The farmyard architecture and built structures at Brookshill and Copse Farm have developed in response to the changing needs of the agriculture industry. The site's form and structure were added to, to provide accommodation for horses as well as a schooling indoor and outdoor arena for Riding Stables. Although Dairy Cottage and Copse Farmhouse are occupied, since the former Riding Stables closed, the redundant stable buildings have fallen into disrepair and require an appropriate new use. The best use is the use they were designed for, such as agricultural storage. It is important that they are reused in a sympathetic way, which retains their integral qualities and protects their future as valuable heritage assets.

The redundant buildings within Suzanne's Riding Stables are an acknowledged problem within the conservation area and there is already pressure for residential use of the site. Agricultural uses are considered the most appropriate uses for the farmyard groups, as they reflect the original purpose of the buildings and character of the area. The area is within Green Belt, where agricultural and outdoor recreation uses are considered appropriate and so the semi rural character of the conservation area and the Green Belt requirements for appropriate rural uses reinforce each other. New owners would need to demonstrate that a rural use of the entire site is not viable, following thorough marketing and realistic pricing of the site, given its constraints. If this was successfully proven, then a mix of rural and non rural uses would be better than a wholly residential development perhaps with limited amounts of housing providing financial viability for the agricultural uses. The housing, would need to be the minimum necessary to secure the site's viability and located in the least sensitive parts of the site. English Heritage's advice in "Enabling Development and the Conservation of Heritage Assets" would be used to assess the proposals. It would of course be critical that any enabling development did not harm the historic character, which it was seeking to safeguard.

Due to the redundant nature of the farms there is predominance of residential usage within the area, which creates unwanted pressure on the area for alterations and extensions. There are concerns over extensions in this location as additions may impact on cherished views.

Streetscape character

The streetscape character is noticeably semi-rural in terms of road surfacing and boundary treatment.

The area is bounded with grass verges and hedgerows, with the exception of Old Redding, which has limited pavements running alongside. The road leading to Copse Farm is not bound and is still very much a farm track, which emphasises the areas integral agricultural character. This continues until it meets Brookshill Drive where it becomes more solid and finally becomes tarmac after the houses. There are no kerbs bounding the road, which emphasises the soft landscaping and countryside appearance.

The rough potholed single road is bordered with grass and bramble covered verges, adding to the semi rural feel. The lack of road signs and markings contribute to the preservation of the countryside atmosphere. Where repairs to the road may be necessary, in doing so the existing character should be retained.

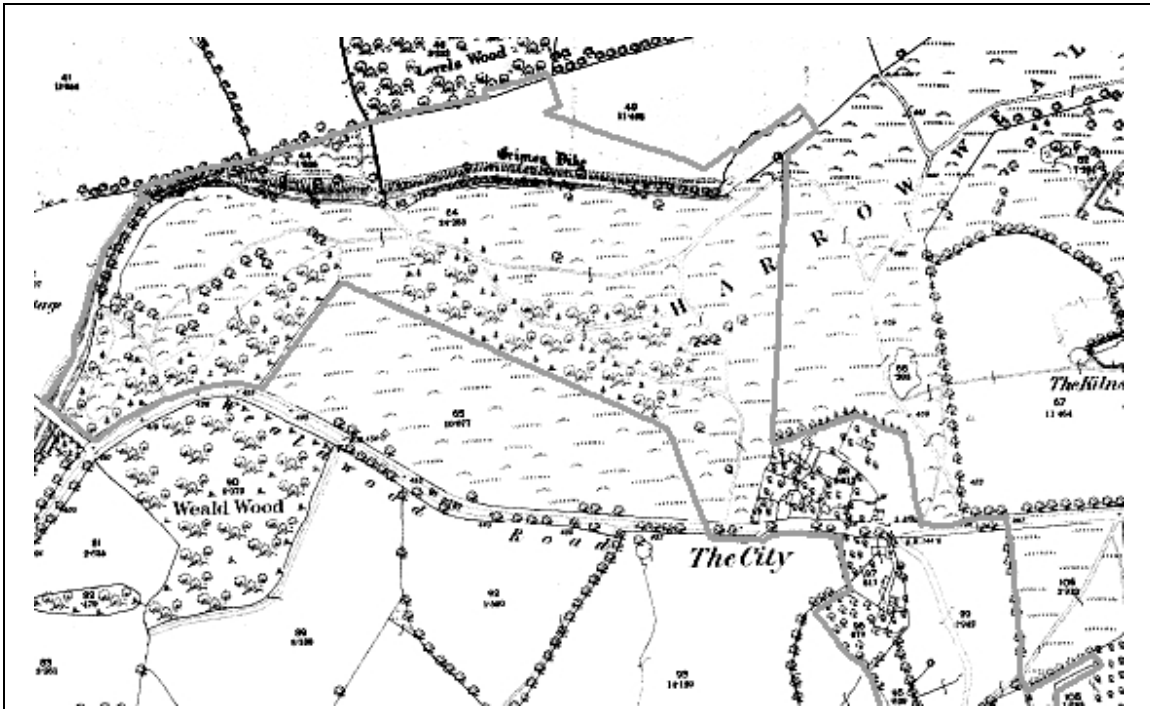
Street furniture

With the exception of Old Redding, the area is quiet with limited traffic, and due to the rough terrain, what traffic there is tends to be very slow and therefore considerate to the character of the area. This encourages walkers and joggers to utilise the routes without fear of cars. The farm road is private and as such is free from street clutter like signage. The few municipal street lamps and telegraph poles with overhead wiring do not significantly intrude on the character of the area, keeping street clutter to a minimum. The wooden telegraph posts are relatively discreet and as such preserve the character of the area. However, other telecommunications equipment, which would clutter the area, would not be appropriate.

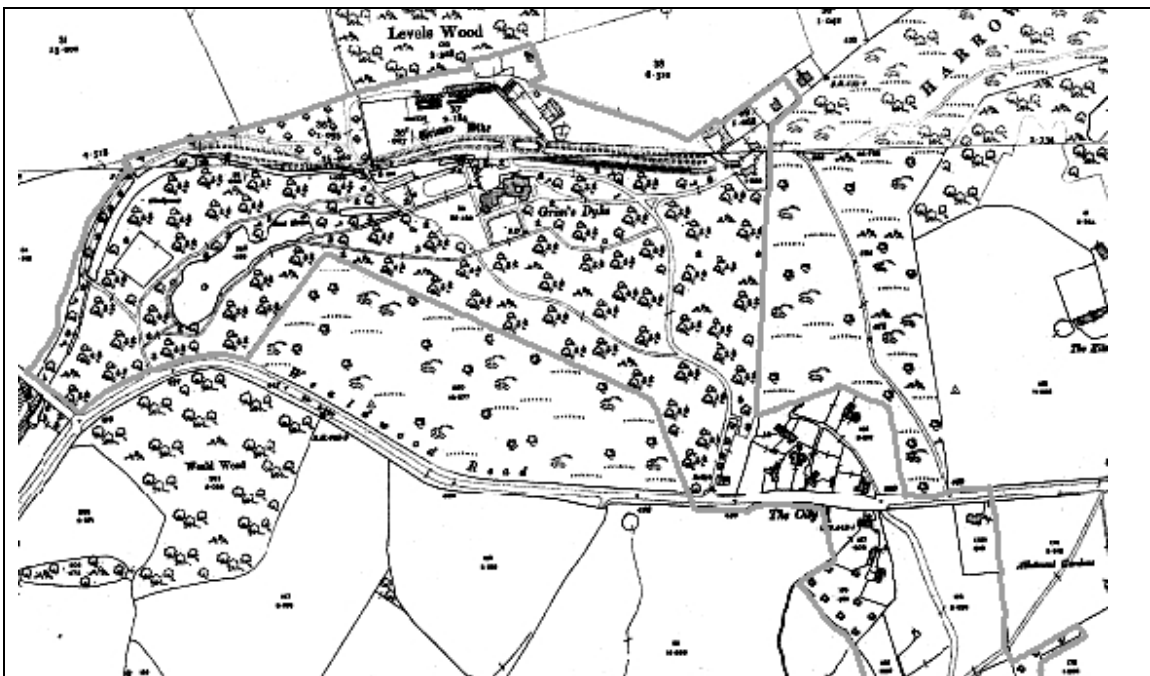
There is a car park adjoining the conservation area from which there are good views of Copse Farm. The car park attracts a great number of visitors for the open views out over Harrow. The car park itself is not particularly attractive and as such there is potential for some enhancement here. Visitors take the opportunity to eat and drink in the neighbouring Case Is Altered. The public house is advertised by wooden standing signage in the front garden. The signage is relatively sympathetic to the area but should be kept to a sympathetic size and style, and limited illumination.

History and Development Grimsdyke Estate

Prior to the development of Grimsdyke Estate, the north of the conservation area was formally covered in woodland. The soils of the area supported gravels and sands, which overlay clay. The extraction of these resources produced gravel pits from which materials were taken for the construction and surfacing of local roads, and to near by Brick Kilns for the production of bricks. The ancient linear earthwork of Grim's Ditch is still a major archaeological feature of the area, although only the westerly section survives intact. This Scheduled Ancient Monument frames the northern part of the estate, whilst the remainder is sandwiched between Harrow Weald Common land.



Historical Map of 1864-1868, with the conservation area outlined in grey



Historical Map of 1913-1914, with the conservation area outlined in grey

Until the Grimsdyke Estate was built, the area was undeveloped. Grimsdyke Estate was planned around a principal house, which is now statutorily listed grade II*. The rest of the estate layout was carefully planned and as such those buildings, which are historically contextual, are considered as curtilage-listed buildings, due to their integral relationship with the house and its setting.

Grimsdyke House was built in 1872 for the painter Frederik Goodall. He envisaged building his home earlier, however due to a previous lease taken out on the land he was unable to build at such time. As such, during the sixteen years between buying the land and building Grimsdyke House, Goodall spent this time landscaping the area with trees and shrubs. He left the area adjacent to the Grim's Ditch linear earthwork unplanted to allow for the house and landscaped gardens to be built at a later stage. The landscaped area, which he created, has now been included in the Register of Parks and Gardens of interest.

Goodall commissioned an architect who was popular for his organic and modern version of the Tudor style. The architect, Richard Norman Shaw designed a grand, irregular and rambling house to fill the site, chosen to nestle amongst landscaped gardens. It was built in red brick and limestone, with timber framed gables and a tiled roof. The gravel pits to the north of the estate were reused as small lakes, and a moat was constructed along the line of Grim's Ditch.

Norman Shaw also designed the grade II listed South Lodge, which forms the gatehouse to the estate and was built at the same time as the main house. He almost certainly also built the stable block which now provides staff accommodation. It has always been an ancillary building to the main house and is therefore curtilage-listed. This building was developed as part of a group of three, with two other buildings -The Bothy and North Lodge - which provided staff accommodation. As such they are also an integral part of the historical layout of the site and are therefore also considered to be curtilage-listed.

In 1890, William Schwenck Gilbert, of Gilbert and Sullivan fame bought the house. Gilbert made a number of changes to both the house and the estate by planting additional trees and by introducing a number of rhododendrons, which still line the driveway. The farm and stables, a kitchen garden, orchard and vinery were developed. His wife, Lady Gilbert, cultivated a sunken rose garden. The larger lake was excavated to create a central island on which to site a private boathouse. Gilbert enjoyed many hours swimming in the lake, and it was here on the 11th May 1911 that he lost his life whilst trying to save a local girl from drowning. Lady Gilbert continued to live in the house until her death in 1936.

The house was purchased a year later by the London Borough of Harrow to be used as a hospital in which to house patients suffering from tuberculosis. Since this time, the house has been used on many occasions as a film set. It was later converted into a hotel after undergoing extensive restoration and refurbishment and continues to occupy this use.

The Architectural Character Of Grimsdyke Estate

The layout of estate buildings defines the area's architectural character and context. The buildings were designed to be read as one estate, with an imposing principal house surrounded by formal gardens and ancillary service buildings and stables. The Estate

architecture was carefully planned in a Tudor style with the smaller ancillary buildings imitating the design of the main house.

Each building had a role to play within the estate and as such there is a strong architectural, social and historical relationship between each one. The most important estate building is **Grimsdyke House**, the principal house to the estate and significantly larger and grander than any of its ancillary buildings. The house is large and irregular of two and three storeys in a modified Tudor style. It is built in red brick and stone with timber-framed gables and pitched tiled roofs. The tall prominent chimneys foreshadow its Arts and Crafts style.



Grimsdyke House

The gatehouse is a small lodge, which marks the entrance into the estate. Although it has lost its original purpose of meeting and greeting, it has survived well and still acts as an introduction to the grandeur of the main house and indicates the point of entry into the estate. **South Lodge** is two storeys, in red brick similar to that of the main house. It is a much smaller building, indicating its subservient status but mimics the detailing of the big house, demonstrating the unity within the estate. The lodge has tile-hung gables and stone dressings, a tile pitched roof and crested ridge. It also has a prominent chimneystack which, like the other elements of its design, imitates the style of the main house. The mullioned windows and door beneath a pointed arch, under the sweep of the main roof also echo the detailing of the main house.



South Lodge

Grimsdyke House is centrally situated within extensive gardens and landscaping. A cluster of ancillary buildings is sited about 200 meters to the east. These tend to reflect their original functions as small domestic buildings to house staff and horses.

The **Stable Block** originally housed horses. The different brick bonding provides clues as to where the arches have been filled to provide accommodation space. The 'L' shaped building now houses hotel staff. The stables were built in a red brick with a decorative tile-hung second floor and leaded casement windows. The Stables form an integral part of the estate's portfolio of buildings, thus making a positive contribution to the conservation area. However, some timber windows have been unsympathetically replaced with aluminium and as such there is opportunity for enhancements here, which is considered in the management plan section.



The Stableblock

Like the Stableblock, **North Lodge** and **The Bothy** are part of the originally planned layout for Grimsdyke Estate and built around 1874. They were built in a similar architectural style to that of Grimsdyke House and as such have historical and architectural importance. The two are roughly the same scale and are both two-storey partially timber framed domestic houses, with red brick on the ground floor and timber framing on the second. The Mock Tudor style mullioned windows, and heavy front doors complement the style of the main house, as well as contributing to the rural feel of the area.

Grim's Dyke Cottages and **New Lodge** are a later addition to the original grouping but because they match the architectural qualities of those initially laid out and as such blend in harmoniously with their neighbours. Open fields providing pleasant contrasting surroundings bound the cluster of buildings on one side, while Harrow Weald Common bounds the other. The houses are situated at the end of a single un-laid track, which is reminiscent of the gravel roads of the past and is indicative of the past uses of the area.

Gilbert built a model farm of which the walled compound still stands. The wall is in relatively good condition and should be retained, because there are very few remnants otherwise. What still exists tends to be light-weight, simple lean to structures of no particular architectural merit, which look out over open farmland that provides good views to the north but the agricultural grouping does contribute to the semi rural character of the area.

Behind the model farm wall is a car park to cater for a later modern infill development to serve as additional accommodation to the hotel. The late 20th century Grim's Dyke Lodge sits to the north of the hotel. The building's design has attempted to assimilate the characteristics of the integral estate buildings with some success, although it is still noticeably modern in design and is therefore considered as a neutral development within the estate.

Activity and Uses

Where Harrow Weald Common abuts Old Redding there is a sign to indicate which pathways to take through the woodland. The woodland entrance is very close to the City Cottages and is sited opposite the Case Is Altered Public House and is marked by a five bar gate. Walkers enjoy discovering pathways through the tree-covered area, which is part of Harrow Weald Common. The forest's interesting undulating floor is an important characteristic of the area and is a result of gravel extracting and tree clearance. The footpaths run past Grim's Ditch, an ancient defensive earthwork and Scheduled Ancient Monument.

The conservation area is well known, as it is easily accessible and is much loved by locals and visitors alike. Tourism generates a large part of the area's income, as the hotel and its environs are attractive to a great number of visitors. Similarly, the Case Is Altered caters for those who utilise the major walking routes through this part of the Borough. The impact of walkers on the area may take its toll on natural and archaeological treasures and as such a management plan for the area linked with the potential for tourism may be of benefit. This could include the enhancement of other surrounding features such as the car park off Old Redding.

Where there is open land to the north and south east which is Council owned and maintained, there is potential to enhance and promote routes through this area for additional recreational usage.

Boundary Treatment and Front Gardens

The gardens and boundary treatments complement the open landscapes and woodland surroundings. The similarity of boundary treatment helps to tie the estate together. There is little in the way of drives in terms of the cluster of buildings at the edge of the scheduled monument. Cars tend to sit on the planned gravel roads or in small drives to the side of houses. North Lodge has a ramshackle looking lean to garage, which there is opportunity to enhance. Similarly there is opportunity to enhance the entrance into the Stable block, which could be enhanced with some soft landscaping and more appropriate surfaces.

To the side of Grimsdyke House there is a tarmac car park, which is not particularly attractive, and is also damaging to the base of the built fabric. There is already evidence of brick erosion caused by the impervious material.

The car park at Grim's Dyke Lodge is a neutral feature since it does not significantly affect the character of the post war development. However the hard surfaced pavements which surround it would be much better as a pathway through a grass verge to retain the countryside character of the area. Similarly, timber would be more in keeping with the semi-rural character of the area than metal bollards.

Streetscape Character

There is limited street lighting leading to Grimsdyke House and its ancillary buildings. Due to the woodland surroundings and the tunnel effect of the rhododendrons and trees,

the area is rather dark after nightfall, which contributes to its rural hidden enclave character.

Although there are no pavements alongside the roads throughout the estate, kerbs or road signage, the roads are tarmac and as such are much more formal than those in the south of the conservation area. There is opportunity for enhancement here. The softening of these would be much more in context with the lush woodland surrounding. A possible alternative of bound gravel on a solid base would be less harsh and would be historically suggestive of what the initial estate roads would have looked like.

The original style road surfacing does exist surrounding the cluster of ancillary buildings at the edge of the Scheduled Ancient Monument.

Street Furniture

There is limited street furniture throughout the area. Much is as a result of signage to indicate which path to take through the woodland. There are also large signs on the entrance gates indicating what forthcoming events the hotel is hosting. These tend to be timber with a sympathetic font size and style and as such preserve the character of the area.

The entrance gate piers are in need of repair, as are the lamps that adorn them. Similarly, the decorative entrance gates would benefit from restoration.



Entrance Gate Detail

There is one gate pier left at the entrance to the field, which adjoins the Stableblock. This gate pier is locally listed in conjunction with the property and restoration of this would be welcomed.

The streetlights and telegraph poles are not overly obtrusive and do not visually clutter the area.

Biodiversity and Landscape within the Conservation Area

Map 6. Map to show TPOs and significant tree groups in Conservation Area



Harrow Weald Common

With its areas of open land, formal planting and significant trees, the area has much biodiversity and landscape value. The word *weald* is thought to derive from the Old English for forest, indicating that this area was once covered with woodland. The undulating terrain, which is a feature throughout the Common, is a constant reminder of the history of gravel extraction here. The ridges and hollows, that this extraction has helped to create, have somewhat increased the habitat diversity of the site since operations ceased at the turn of the century. Much of Harrow Weald Common is covered with Oak Birch woodland, although Aspen, Beech and Rowan also occur. Typical woodland birds include redpolls, bullfinches and goldfinches, as well as three species of woodpecker, among a number of others. Mammals include the grey squirrel, foxes, and

hedgehogs. Weasels are also likely to be seen. Harrow Weald Common is Council owned and is freely accessible to the public, however the grounds to Grimsdyke House are private.

The Grimsdyke Estate is included on the Register of Historic Parks and Gardens. Opportunities exist to repair and reinstate elements of the original designed landscape, such as Gilbert's lake. The lake at Grimsdyke Estate is silted up and is therefore derelict. There have been proposals to reinstate this and as such there is possibility for enhancement here. Gilbert reputedly planted many of the plants growing in and around the lake, such as the great spearwort.

Some of the great rhododendrons have been cleared from surrounding Grim's Ditch because the roots were thought to be disturbing the archaeological remains. In consultation with English Heritage, the earthwork was opened up and flooded to help to preserve the site, whilst providing a niche for species preferring wet conditions, such as rushes and sedges.

Archaeology within the Conservation Area

Running throughout the area is an interesting linear earthwork and Scheduled Ancient Monument known as, Grim's Ditch. Within the conservation area, it is visible in parts of the Grimsdyke Estate and appears as a large wooded ditch, which is often muddy or full of water. A public footpath has been created to allow the earthwork to be followed where this is possible. *Grim* is the Saxon word for devil and the name Grim's Ditch was used for various linear earthworks of this type, probably as a means of explaining the origins of features for which they had little understanding, and for which they thought the devil must have been responsible.

The original purpose of the ditch is unknown, as is its precise age. Archaeological excavations undertaken in 1979 dated a fire hearth to the 1st century AD. Found in the large earth bank, it is thought that those undertaking the ditch's construction probably used this. This theory would date the ditch to the Roman Period in England. At this time, the rebel Catuvellauni Tribe, whose capital was at Varulamium (St Albans) were expanding their territory. They opposed Roman rule and fought against Emperor Claudius and as such the tribe may have used Grim's Ditch as a boundary marker or a defensible area. Further archaeological excavations may help to uncover more evidence of this.

Potential to extend the Conservation Area boundary at both Brookshill Drive and Grimsdyke Estate

Map 7. Proposed Extension of the Conservation Area Boundary

The Council propose to extend the conservation area boundary at Grimsdyke Estate to include Grim's Dyke Cottages, which would help to preserve the character of the area. A potential Article 4 Direction to withdraw some permitted development rights could then be adopted. The Article 4 Direction would control alterations to the façade and the boundary treatment of a property, to limit unsympathetic changes.

With regards the Brookshill Drive area it is also proposed to extend the boundary to include the remaining 20th century properties as shown on the map above. In extending the area, an Article 4 Direction could be introduced to control permitted development rights in terms of satellite dishes, boundary treatment and alterations to facades, to limit unsympathetic development.

Through the withdrawal of permitted development rights, it is hoped that soft landscaped driveways can be retained, which are important for the area's character. The protection of timber windows, which are more attractive than and do not damage the built fabric in the way that plastic windows do would also be valuable for the conservation area.

Management Plan

Problems, pressures, negative features to effect:	Location	Description
Copse Farm		
Redundant Agricultural Buildings: their poor repair and pressure for residential uses		A number of vacant agricultural buildings exist which are in need of a relevant new use and repair. These buildings have a strong architectural presence and layout, and as such form much of the area's character. Due to the redundant nature of a number of buildings, these are falling into disrepair with little maintenance.
Security equipment		As a result of fly tipping there are pressures from CCTV and security fencing to surround the farm
Fly tipping		Fly tipping is unwelcome in the area, as it can be visually cluttering and can often be dangerously sited, blocking the way for emergency vehicles
Pressure for new development/residential use		Any new development is potentially harmful to open views both out of and into the area, and is also contrary to Green Belt policy. The redundant farm buildings have never been residential dwellings and as such a residential use is not appropriate
Pressure for demolition, especially where this may affect locally listed buildings		Demolition may be acceptable if views are unaffected. However, in terms of historic buildings and locally listed buildings, demolition would not secure the future of these heritage assets, and is unlikely to be considered unacceptable
Grimsdyke Estate		
Grimsdyke House car park/estate roads		The tarmac has a deadening effect and detracts from the character of the area. It also prevents water from draining naturally through the ground and as such there is evidence of erosion to base level bricks of Grimsdyke House. Finding a suitable soft landscaped alternative would make a significant difference. The estate roads are tarmac, without pavements, but look too harsh for the soft surrounding landscaping
Pressure for additional space		Since losing the right to retain a marquee as a permanent structure, the hotel may look towards additional conference facilities. Identifying an appropriate location is an important objective
Loss of planned		The landscaping of the estate is as integral as the buildings which

landscape	were planned for it, and as such the retention and restoration of this would be an important objective	
Other		
Pressure for lighting and signage	The Case Is Altered Public House	Signage tends to be prominently displayed, however, should there be too much of this it will be visually cluttering and as such should remain sympathetic
Motorbikes	Harrow Weald Common	Small motorbikes are taking advantage of the pathways throughout the woodland, which disturbs the soil and endangers the linear earthwork and its archaeological properties
Potential pressure from telecommunications masts	Open space within the conservation area	Due to the height and openness of the land, forthcoming pressures may derive from telecommunications masts for mobile communication
Views of the Radio Mast from the conservation area	101 Old Redding	Although surrounded by mature trees, the 110 ft tall transmitter tower can be viewed from the gardens of Grimsdyke House. It also borders Grim's Ditch so is therefore obtrusive in this location. The tower is built on a concrete plinth and has a single storey out building
Car park adjacent to the conservation area, overlooking Harrow	Adjacent to the Case Is Altered Public House	Although the car park is not incorporated within the conservation area, it does have some bearing on the area in terms of allowing visitors to park and then explore at their leisure. Clear uninterrupted views look out over Harrow and as such the viewpoint is a popular spot. The ground is potholed and the entrance is restricted to prevent travellers camping on the site. There is opportunity for enhancement in this location
Pressure for extensions to properties	This affects all buildings where open views may be jeopardised, or local vernacular may be affected	Extensions and alterations to buildings may affect the area's open character. To make alterations may change the vernacular appearance of many of the buildings, again detracting from the character of the area
Neutral Features		
Dukes Cottage	Brookshill Drive	20 th century design which neither detracts from, nor enhances the conservation area
The Hollies	Brookshill Drive	20 th century design which neither detracts from, nor enhances the conservation area
Grim's Dyke Lodge	Grimsdyke Estate	20 th century design which neither detracts from, nor enhances the conservation area

Brookshill and Grimsdyke Conservation Area Management Strategy

Purpose of the Strategy

The preceding Conservation Area Appraisal provides an analysis of the character and appearance of the conservation area to identify what makes it special. It also sets out problems and pressures that are affecting the area. This Management Strategy develops these issues looking at how best to protect the special character, through specific policies and controls. It also sets out opportunities for change, improvement or enhancement. Each section of the strategy is linked to the relevant policy guidance, which provides the framework for the future management and enhancement of the conservation area. The following proposal statement provides a list of actions, related to those features identified as 'negative'.

Enhancement Opportunities

This section sets out opportunities to enhance the area, through resolving acknowledged problems, as identified in the appraisal.

Identified Negative Feature	Site Address	Proposed Actions?
Copse Farm		
Redundant agricultural buildings		Where former agricultural buildings become redundant, residential use is only considered appropriate when this can be mixed with a rural usage to continue the historic identity of the area. Proposals for such a site should ideally be submitted alongside a comprehensive planning brief, which appropriately considers the historic nature of each building, and its significance in relation to the site. It should also provide justification as to why the proposals reached in the conclusion are of benefit to the area. Should the search for a rural use be exhausted without success, only then would sole residential use be considered acceptable
Lack of maintenance-Copse Farm Barn		Every effort should be made to encourage the owner to maintain the buildings to ensure their future where there is opportunity to do so. A management plan addressing these issues and offering sensitive solutions would be of benefit to the site. Any conversion should respect the character of each building and as such use a rural use, so as not to intervene with the buildings interior layout. The barn's internal space is important and must not be subdivided. Alterations to the roadside façade will not be found acceptable
Fly tipping		Work with the New Harrow Project Area Manager to develop a strategy in response to this
Security equipment		Limit security equipment in terms of lighting, CCTV and fencing which may disturb a building or area's character

<p>Pressure from new development/demolition and residential use</p>	<p>Every effort should be made to retain existing internal planned divisions of agricultural buildings where this is possible to ensure limited intervention is carried out. The integral layout of the farmyards must be retained, as must the open spaces between these. Copse Farm House must retain its status within the farmyard as the principal building and as such any new development will be subservient to this in scale and detailing. The heightening of existing rooflines will not be considered acceptable, as this will detract from the open character of the area</p> <p>Retention of the historic fabric should be a principal concern for any redevelopment to affect the area. Any proposals, which do not appear to fully respect the building's integral character, appearance and historic layout, will be unsuccessful. Similarly any demolition for new development which will affect views will be unsuccessful</p> <p>Every agricultural/rural option must be exhausted before sole residential use may be considered. Any proposal should include a planning brief which identifies all possible uses, and appropriately considers the historic nature of each building, and its significance in relation to the site layout</p>	
<p>Grimsdyke Estate</p>		
<p>Grimsdyke Hotel</p>	<p>Work with the hotel management to develop an overall strategy for the area to include new development, alterations and landscaping particularly with regards to:</p> <p>Car parks, pressure for additional accommodation, loss of the originally planned landscape, estate roads, restoration of the glass house, entrance gates and piers, appropriate maintenance of ancillary buildings</p>	
<p>Other</p>		
<p>Views of the Radio Mast from the conservation area.</p>	<p>101 Old Redding</p>	<p>Encourage further landscaping/tree planting to conceal the radio mast where there is opportunity to do so</p>
<p>Car park adjacent to the conservation area, overlooking Harrow</p>	<p>Adjacent to the Case Is Altered Public House</p>	<p>A bound gravel surface on a solid base would enhance the space, which could be divided up with soft landscaping to try to mitigate the large visual expanse of hard surfacing</p>
<p>Extension to the boundary/Pressure for extensions to properties</p>	<p>Grim's Dyke Cottages</p>	<p>The implementation of an Article 4 Direction to limit permitted development rights would provide stricter control over problem areas, which for Grimsdyke would cover:</p> <p>Boundary treatment to include paving and hard surfacing– to limit hard surfaced driveways Alterations to the roof and façade – to limit intervention to the chimneys, tile roofs and prevent the replacement of timber windows or doors to plastic</p>
<p>Extension to the</p>	<p>Hill View,</p>	<p>The implementation of an Article 4 Direction to limit</p>

boundary/Pressure for extensions to properties	East Cliff, Weald, Newlands, Brookslee and Red Corners	permitted development rights would provide stricter control over problem areas, which for Copse Farm and Brookshill Drive are: Boundary treatment to include paving and hard surfacing– to limit hard surfaced driveways Alterations to the roof and façade – to limit intervention of the chimneys, tile roofs and prevent the unsympathetic replacement of windows or doors Satellite Dishes
Pressure for more lighting and signage	The Case Is Altered Public House	Signage should be in timber and avoid overly large lettering, and any illumination will be found unacceptable
Motorbikes	Harrow Weald Common	The Council will continue to work with the Metropolitan Police in relation to “Safer Neighbourhood Teams”
Potential pressure from telecommunications masts	Open space within the conservation area	Proposals from telecommunications masts will not be considered within the conservation area
The restoration of signposts to strengthen right of ways/bridal ways	Throughout the conservation area/Harrow Weald Common	There is an enhancement opportunity to upgrade routes by providing clearer signage
The restoration of the road leading to Copse Farm	Road leading to Copse Farm from Old Redding	The road leading to Copse Farm is pot holed and as such enhancements could be made to ensure a rural personality is kept whilst strengthening the road. By providing a solid base and retaining an un-laid overlay would make an enhancement in this area
Municipal street lamps	Brookshill Drive	There is opportunity to paint these black to be less obtrusive
Protection of natural and archaeological treasures from the impact from tourism/ Enhancement of Harrow open land	Harrow Weald Common/Surrounding open land	Encourage the possibility of a Management Plan to address the impact of tourism on the area and its effect on natural and archaeological resources
Garage at North Lodge	Grimsdyke Estate	Should opportunity arise for the alteration of this structure, every effort should be taken to find a sympathetic alternative which enhances the area’s character

Protective Measures – policies and controls

1. The Council will require that all development respects the character, intrinsic buildings and layout of the area
2. The Council will seek to protect the cohesive quality of, and important spaces created by, building groups of historic importance
3. There will be a presumption against the demolition of buildings within the conservation area
4. To ensure that the character of the conservation area is both preserved and enhanced, proposals for development should:
 - a) Respect existing properties and areas of open space in terms of bulk, scale and siting
 - b) Not impede significant views, diminish the gap between buildings or intrude into areas of open space as defined on map 3
 - c) Respect the existing layout and historical form of the settlement and estate
 - d) Respect and complement the existing buildings in terms of design, detailing, scale and materials in any proposals for extensions or alterations
 - e) Applications for development should demonstrate in sufficient detail how they comply with the above criteria. In the absence of such detail, applications will not be considered
5. Trees and groups of trees will continue to be protected by tree preservation orders
6. Development adversely affecting significant trees will be refused
9. The Council will resist the removal of original design features such as windows and doors. Where replacement is necessary traditional materials should be used. Aluminium and UPVC replacement units will not be considered acceptable
10. Alterations to buildings that result in a detrimental impact on the appearance of elevations that face a highway, including alterations to chimneys and rooflines, will be resisted
11. The Council will resist the removal of grass verges
12. The Council will encourage the retention and improvement of both public and private green spaces
13. The Council will encourage the utility companies to install the minimum amount of new street furniture and to locate any furniture sensitively
14. Where in Council control, new street furniture will be required to be well sited and designed. Redundant and unsightly street furniture will be removed where opportunities occur

15. The retention of visually important walls which are characteristic of the area will be required
16. The Council recognises the archaeological importance of the area, and where necessary will ensure that appropriate action or works, such as an excavation or building recording, can be carried out before development commences
17. Proposals for telecommunications equipment which detrimentally effects the character and appearance of the Conservation Area will be refused